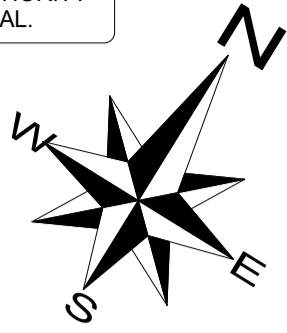
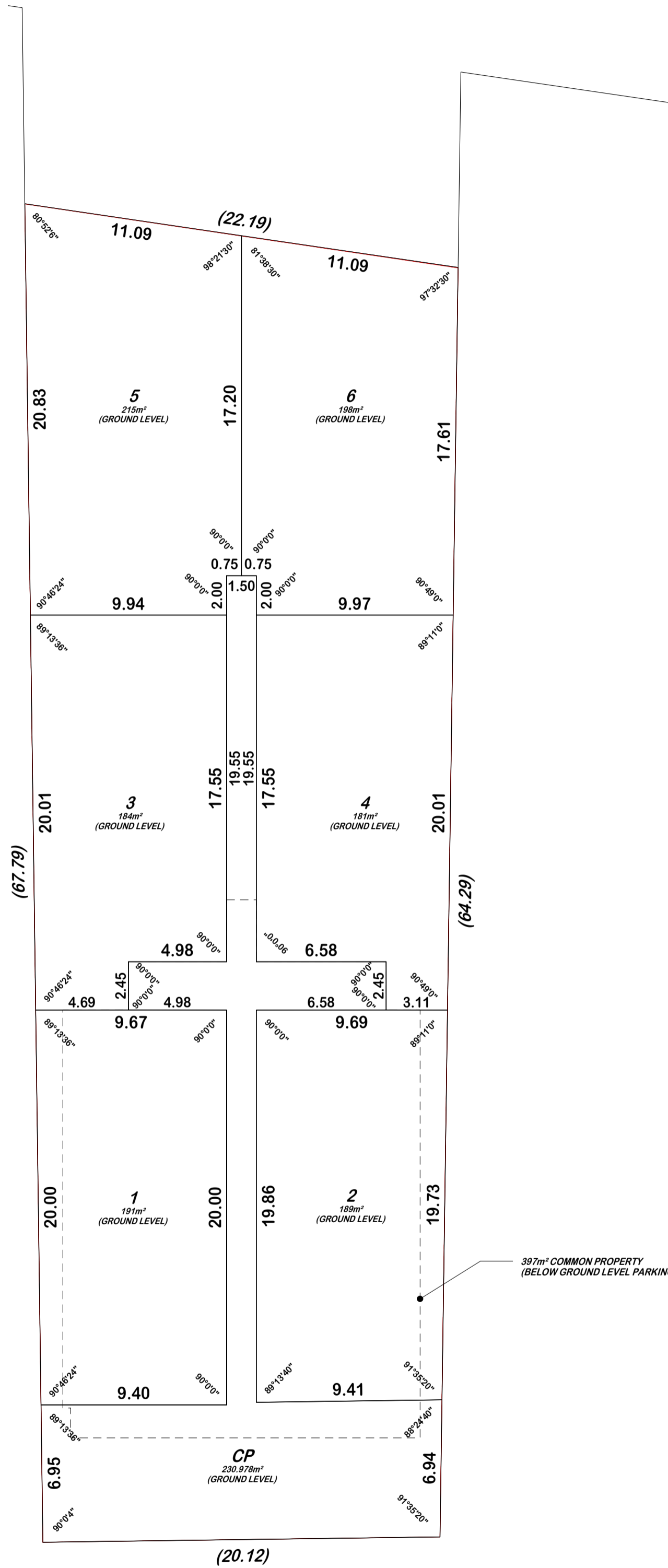


ZONED R40

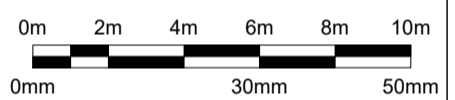
PRELIMINARY UNIT DEVELOPMENT LAYOUT DESIGN IS SUBJECT TO LOCAL AUTHORITY APPROVALS AND W.A.P.C. APPROVAL.



City of Stirling
Ref No. DA22/1075
1 Dec 2022
APPROVED
Refer to decision notice



SACKVILLE TERRACE



DRAWINGS ISSUED FOR PLANNING APPLICATION

DRAWING TITLE PRECALC PLAN

SCALE: **1 : 200** PAGE SIZE: **A2**

BUILDER: JABIRU

CLIENTS: GRIFFIN GROUP

PROJECT: PROPOSED SIX GROUP DWELLINGS AT LOT 53 (H#30) SACKVILLE TERRACE, SCARBOROUGH CITY OF STIRLING

PROJECT No. 21-327	DATE AUG. 2022	REV. H3.
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DRAWN J. BROOKS	DWR No. 00-13
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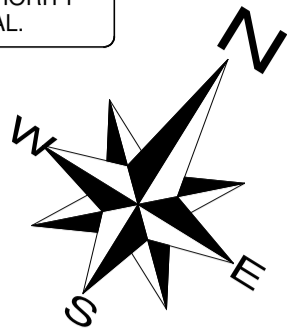
NOTE: THESE PLANS ARE DRAWN USING THE PLANS AND DETAILS SUPPLIED TO FINE LINES DRAFTING.
1. CHECK ALL DIMENSIONS ON SITE PRIOR TO SETTING OUT AND COMMENCING ANY WORK. DO NOT SCALE FROM THESE DRAWINGS.
2. IT IS THE OWNER'S AND BUILDER'S RESPONSIBILITY TO COMPLY WITH ALL STATUTORY AUTHORITY REGULATIONS WHICH IN THE EVENT OF ANY DISCREPANCY SHALL TAKE PRECEDENCE OVER THESE DRAWINGS.
3. ALL WORK TO BE IN ACCORDANCE WITH THE B.C.A. CODES AND THE RELEVANT AUSTRALIAN STANDARDS.
4. PLANS ARE TO BE READ IN CONJUNCTION WITH THE ENGINEER'S DRAWINGS AND THE BUILDER'S SPECIFICATION.
5. ALL SIZES OBTAINED FROM SUPPLIED PLANS AND SURVEYORS PLAN. BUILDER TO CHECK ALL DIMENSIONS ON SITE.
6. THESE DRAWINGS ARE PREPARED USING INFORMATION OBTAINED FROM SUPPLIED PLANS. FINE LINES DRAFTING ACCEPTS NO RESPONSIBILITY FOR ANY INACCURACIES OR ERRORS FROM THE SUPPLIED INFORMATION.

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DRAFTING

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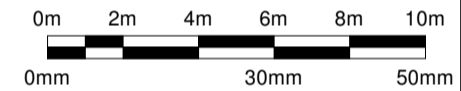
PRELIMINARY UNIT DEVELOPMENT LAYOUT DESIGN IS SUBJECT TO LOCAL AUTHORITY APPROVALS AND W.A.P.C. APPROVAL.



City of Stirling
Ref No. DA22/1075
1 Dec 2022
APPROVED
Refer to decision notice

5.4.2. SOLAR ACCESS FOR ADJOINING SITES
THE PROPOSED SHADOW CAST AT MIDDAY,
21st JUNE ONTO THE ADJOINING PROPERTY IS
237 m². THIS IS LESS THAN 50% OF THE AREA
OF THE ADJOINING R40 CODED SITE.

NOTE: REFER TO FLOOR PLANS FOR AREAS,
OPEN SPACE CALCS, SITE LEVELS AND
RETAINING WALL LEVELS AT DECREASED
SCALE FOR CLARITY



**DRAWINGS ISSUED FOR
PLANNING APPLICATION**

DRAWING TITLE
SITE PLAN

SCALE **1 : 200** PAGE SIZE **A2**

BUILDER
JABIRU

CLIENTS
GRIFFIN GROUP

PROJECT
PROPOSED SIX GROUP DWELLINGS
AT LOT 53 (U#30) SACKVILLE TERRACE,
SCARBOROUGH
CITY OF STIRLING

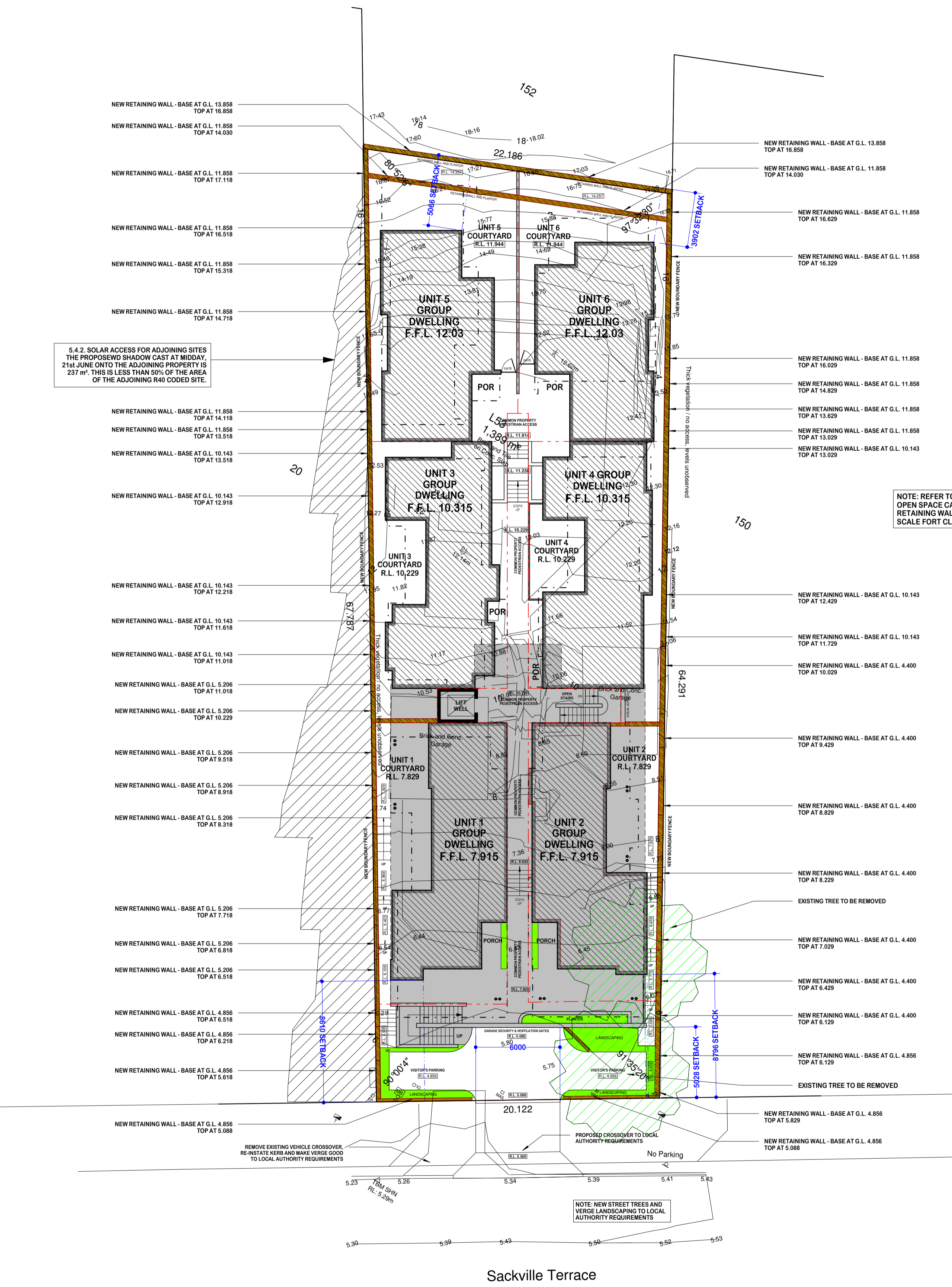
PROJECT No. 21-327 DATE OCT. 2022 REV **H5.**

DRAWN J. BROOKS DWR No. 01-14

NOTE: THESE PLANS ARE DRAWN USING THE PLANS AND
DETAILS SUPPLIED TO FINE LINES DRAFTING.
1. CHECK ALL DIMENSIONS ON SITE PRIOR TO SETTING OUT AND
COMMENCING ANY WORK. DO NOT SCALE FROM THESE DRAWINGS.
2. IT IS THE OWNERS AND BUILDERS RESPONSIBILITY TO COMPLY WITH
ALL STATUTORY AUTHORITY REGULATIONS WHICH IN THE EVENT OF
ANY DISCREPANCY SHALL TAKE PRECEDENCE OVER THESE
DRAWINGS.
3. ALL WORK TO BE IN ACCORDANCE WITH THE B.C.A CODES AND
THE RELEVANT AUSTRALIAN STANDARDS.
4. PLANS ARE TO BE READ IN CONJUNCTION WITH THE ENGINEERS
DRAWINGS AND THE BUILDERS SPECIFICATION.
5. ALL SIZES OBTAINED FROM SUPPLIED PLANS AND SURVEYORS
PLAN. BUILDER TO CHECK ALL DIMENSIONS ON SITE.
6. THESE DRAWINGS ARE PREPARED USING INFORMATION OBTAINED
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DRAFTING**

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Sackville Terrace

NOTE: NEW STREET TREES AND
VERGE LANDSCAPING TO LOCAL
AUTHORITY REQUIREMENTS

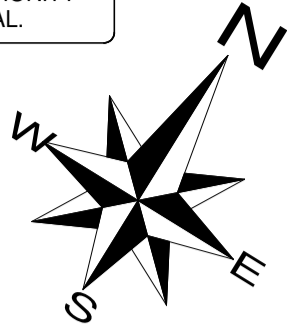
REMOVE EXISTING VEHICLE CROSSOVER,
RE-INSTATE KERB AND MAKE VERGE GOOD
TO LOCAL AUTHORITY REQUIREMENTS

EXISTING TREE TO BE REMOVED

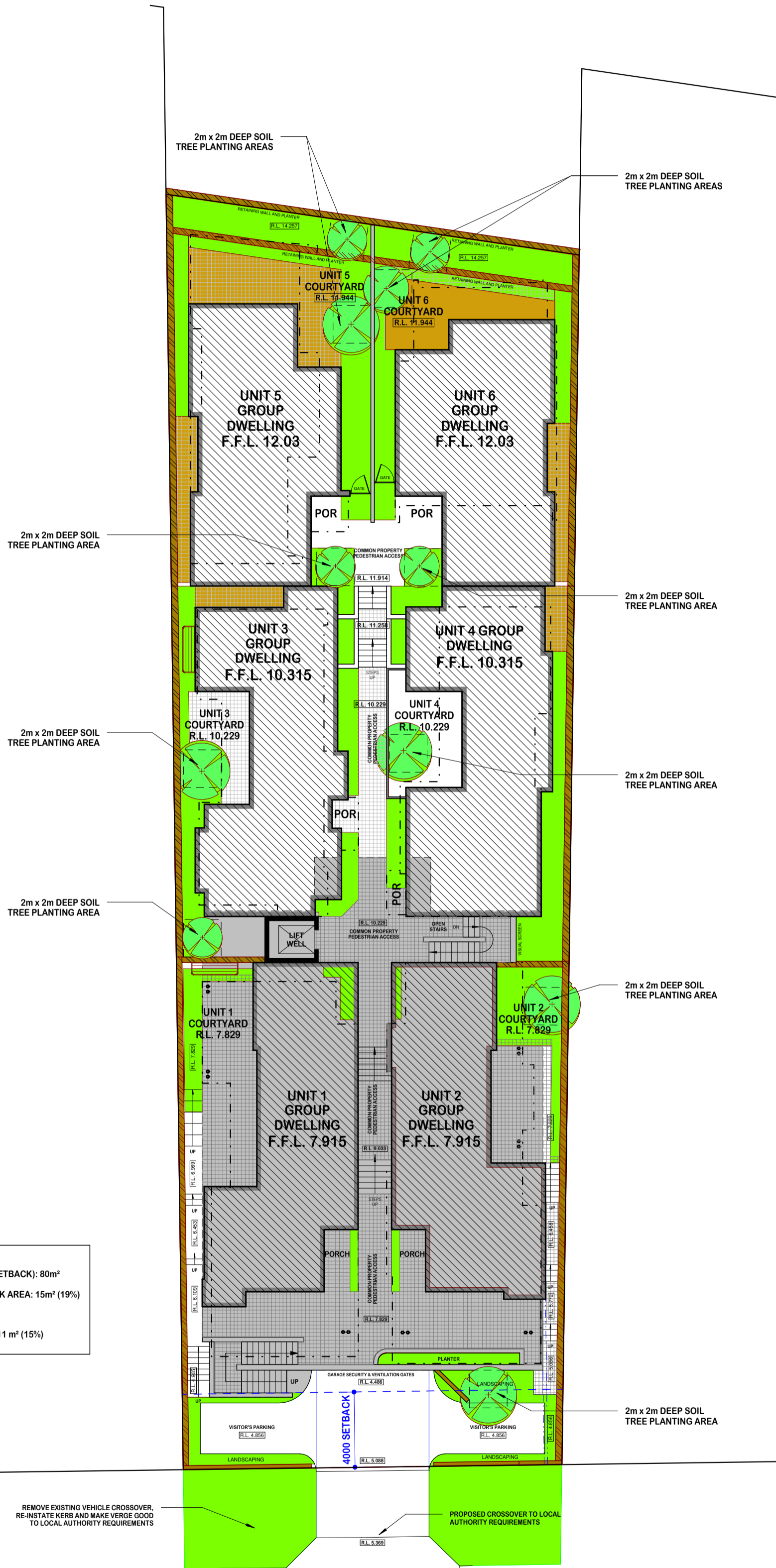
EXISTING TREE TO BE REMOVED

ZONED R40

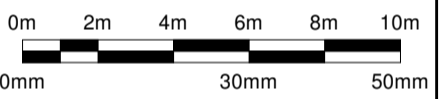
PRELIMINARY UNIT DEVELOPMENT LAYOUT DESIGN IS SUBJECT TO LOCAL AUTHORITY APPROVALS AND W.A.P.C. APPROVAL.



City of Stirling
Ref No. DA22/1075
1 Dec 2022
APPROVED
Refer to decision notice



LANDSCAPING CALCULATIONS	
- FRONT SETBACK AREA (4m SETBACK):	80m ²
- LANDSCAPED FRONT SETBACK AREA:	15m ² (19%)
- TOTAL SITE AREA:	1389 m ²
- TOTAL LANDSCAPED AREA:	211 m ² (15%)



DRAWINGS ISSUED FOR PLANNING APPLICATION

Indicative

DRAWING TITLE
LANDSCAPING PLAN

SCALE PAGE SIZE
1 : 200 A2

BUILDER
JABIRU

CLIENTS
GRIFFIN GROUP

PROJECT
PROPOSED SIX GROUP DWELLINGS AT LOT 53 (H#30) SACKVILLE TERRACE, SCARBOROUGH CITY OF STIRLING

PROJECT No. DATE REV.
21-327 OCT. 2022 H5.

DRAWN DWR. No.
J. BROOKS 02-14

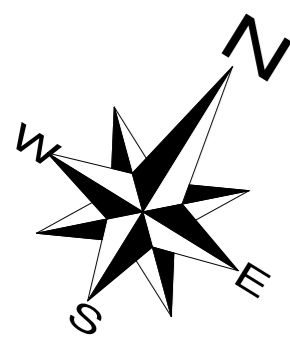
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3. ALL WORK TO BE IN ACCORDANCE WITH THE B.C.A. CODES AND THE RELEVANT AUSTRALIAN STANDARDS.
4. PLANS ARE TO BE READ IN CONJUNCTION WITH THE ENGINEERS DRAWINGS AND THE BUILDERS SPECIFICATION.
5. ALL SIZES OBTAINED FROM SUPPLIED PLANS AND SURVEYORS PLAN. BUILDER TO CHECK ALL DIMENSIONS ON SITE.
6. THESE DRAWINGS ARE PREPARED USING INFORMATION OBTAINED FROM SUPPLIED PLANS. FINE LINES DRAFTING ACCEPTS NO RESPONSIBILITY FOR ANY INACCURACIES OR ERRORS FROM THE SUPPLIED INFORMATION.

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ZONED R40

PRELIMINARY UNIT DEVELOPMENT LAYOUT
DESIGN IS SUBJECT TO LOCAL AUTHORITY
APPROVALS AND W.A.P.C. APPROVAL.



City of Stirling
Ref No. DA22/1075
1 Dec 2022
APPROVED
Refer to decision notice

STRATALOT 5 AREA	215,220 m ²
OUTDOOR LIVING AREA	68.14 m ²
UNCOVERED OUTDOOR LIVING AREA (MIN. 13.3m ²)	39.87 m ²
EQUAL SHARE OF COMMON PROPERTY AREA 1/6 x 230,949 m ² =	38,491 m ²
+ STRATALOT 5 AREA	215,220 m ²
SITE TOTAL FOR OPEN SPACE	233,711 m ²
SITE COVER	103,670 m ²
OPEN SPACE	150,041 m ² (65%)

UNIT 5 AREAS	
GROUND FLOOR AREA	103,672 m ²
FIRST FLOOR AREA	99,956 m ²
TOTAL AREA	203,628 m ²

5.4.2. SOLAR ACCESS FOR ADJOINING SITES
THE PROPOSED SHADOW CAST AT MIDDAY, 21st JUNE ONTO THE ADJOINING PROPERTY IS 231 m. THE SUBJECT LOTS (HS #30) SHARED BOUNDARY LENGTH WITH HS # 28 IS 87% OF ITS TOTAL BOUNDARY THEREFORE 97% OF THE ADJOINING SITE'S 2135 m² IS PROPORTIONALLY 1865 m². THIS RESULTS IN A TOTAL OF 13% OVERSHADOWING. THIS IS LESS THAN 35% OF THE AREA OF THE ADJOINING R40 CODED SITE.

STRATALOT 3 AREA	184,030 m ²
OUTDOOR LIVING AREA	24.23 m ²
UNCOVERED OUTDOOR LIVING AREA (MIN. 13.3m ²)	14.55 m ²
EQUAL SHARE OF COMMON PROPERTY AREA 1/6 x 230,949 m ² =	38,491 m ²
+ STRATALOT 3 AREA	184,030 m ²
SITE TOTAL FOR OPEN SPACE	222,521 m ²
SITE COVER	118,630 m ²
OPEN SPACE	103,891 m ² (47%)

UNIT 3 AREAS	
GROUND FLOOR AREA	109,754 m ²
FIRST FLOOR AREA	103,790 m ²
TOTAL AREA	213,544 m ²

CONTIGUOUS PILING TO STRUCTURAL ENGINEER AND BUILDER'S REQUIREMENTS (EXTENT TO BE CONFIRMED)

STRATALOT 1 AREA	191,000 m ²
OUTDOOR LIVING AREA	36.37 m ²
UNCOVERED OUTDOOR LIVING AREA (MIN. 13.3m ²)	26.48 m ²
EQUAL SHARE OF COMMON PROPERTY AREA 1/6 x 230,949 m ² =	38,491 m ²
+ STRATALOT 1 AREA	191,000 m ²
SITE TOTAL FOR OPEN SPACE	229,491 m ²
SITE COVER	106,660 m ²
OPEN SPACE	122,831 m ² (54%)

UNIT 1 AREAS	
GROUND FLOOR AREA	106,663 m ²
FIRST FLOOR AREA	118,055 m ²
BALCONY AREA	32,294 m ²
TOTAL AREA	257,112 m ²

UNDERCROFT STRUCTURE
COMMON PROPERTY UNDERCROFT GARAGE, STORE ROOMS, BIN STORAGE AND PEDESTRIAN ACCESS AREA
464,727 m²

OPEN SPACE CALCULATIONS	
TOTAL SITE AREA	1389 m ²
TOTAL SITE COVER	780 m ²
OPEN SPACE	610 m ² (44%)

STRATALOT 6 AREA	198,160 m ²
OUTDOOR LIVING AREA	48.00 m ²
UNCOVERED OUTDOOR LIVING AREA (MIN. 13.3m ²)	31.00 m ² (70%)
EQUAL SHARE OF COMMON PROPERTY AREA 1/6 x 230,949 m ² =	38,491 m ²
+ STRATALOT 6 AREA	198,160 m ²
SITE TOTAL FOR OPEN SPACE	236,055 m ²
SITE COVER	100,960 m ²
OPEN SPACE	135,095 m ² (57%)

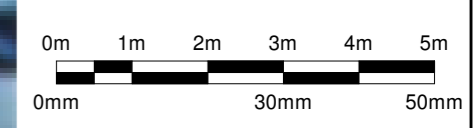
UNIT 6 AREAS	
GROUND FLOOR AREA	102,159 m ²
FIRST FLOOR AREA	96,720 m ²
TOTAL AREA	198,879 m ²

STRATALOT 4 AREA	180,543 m ²
OUTDOOR LIVING AREA	20.43 m ²
UNCOVERED OUTDOOR LIVING AREA (MIN. 13.3m ²)	14.229 m ² (70%)
EQUAL SHARE OF COMMON PROPERTY AREA 1/6 x 230,949 m ² =	38,491 m ²
+ STRATALOT 4 AREA	180,543 m ²
SITE TOTAL FOR OPEN SPACE	227,481 m ²
SITE COVER	120,210 m ²
OPEN SPACE	98,275 m ² (45%)

UNIT 4 AREAS	
GROUND FLOOR AREA	113,789 m ²
FIRST FLOOR AREA	100,796 m ²
TOTAL AREA	214,585 m ²

STRATALOT 2 AREA	189,000 m ²
OUTDOOR LIVING AREA	24.19 m ²
UNCOVERED OUTDOOR LIVING AREA (MIN. 13.3m ²)	22.820 m ²
EQUAL SHARE OF COMMON PROPERTY AREA 1/6 x 230,949 m ² =	38,491 m ²
+ STRATALOT 2 AREA	189,000 m ²
SITE TOTAL FOR OPEN SPACE	227,481 m ²
SITE COVER	108,530 m ²
OPEN SPACE	118,961 m ² (52%)

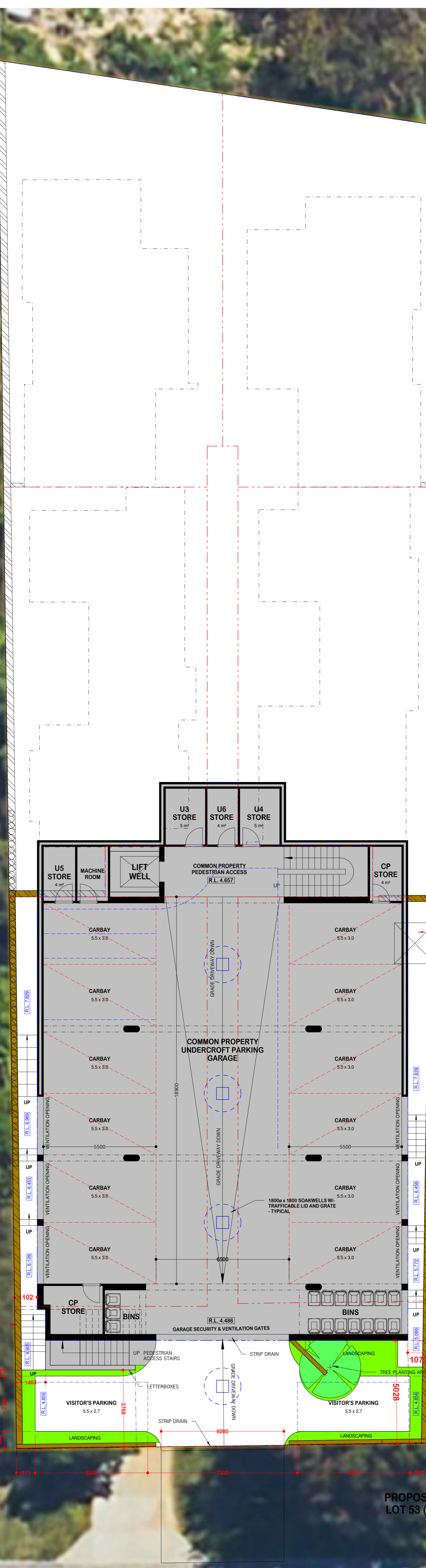
UNIT 2 AREAS	
GROUND FLOOR AREA	108,529 m ²
FIRST FLOOR AREA	118,551 m ²
BALCONY AREA	36,430 m ²
TOTAL AREA	263,511 m ²



DRAWINGS ISSUED FOR PLANNING APPLICATION

DRAWING TITLE	UNDERCROFT FLOOR PLAN
SCALE	1 : 100
DATE	OCT. 2022
DRAWN	J. BROOKS
CHKD	D. H. 04-14
REV	H5.

NOTE: THESE PLANS ARE DRAWN USING THE PLANS AND DETAILS SUPPLIED TO THE CLIENT BY THE ARCHITECT.
1. CHECK ALL DIMENSIONS ON SITE PRIOR TO SETTING OUT AND CORRECT ANY DISCREPANCIES NOT SHOWN FROM THESE DRAWINGS.
2. IT IS THE OWNER'S AND BUILDER'S RESPONSIBILITY TO CLARIFY WITH ALL STATUTORY AUTHORITY REGULATIONS WHICH IN THE EVENT OF ANY DISCREPANCY SHALL TAKE PRECEDENCE OVER THESE DRAWINGS.
3. ALL WORK MUST BE IN ACCORDANCE WITH THE C.A. CODES AND DRAWINGS AND THE BUILDER'S SPECIFICATION.
4. ALL PLANS ARE TO BE READ IN CONJUNCTION WITH THE ENGINEER'S DRAWINGS AND THE BUILDER'S SPECIFICATION.
5. ALL SPECS OBTAINED FROM SUPPLIER PLANS AND SURVEYORS' PLANS, INCLUDING TO SPECIFIC ALL DIMENSIONS ON SITE.
6. THE ENGINEER HAS PREPARED THESE PLANS FROM INFORMATION OBTAINED FROM SUPPLIED PLANS. THE ENGINEER DOES NOT ACCEPT ANY RESPONSIBILITY FOR ANY INACCURACIES OR ERRORS FROM THE SUPPLIED INFORMATION.



2m x 2m DEEP SOIL TREE PLANTING AREA

CONTIGUOUS PILING TO STRUCTURAL ENGINEER AND BUILDER'S REQUIREMENTS (EXTENT TO BE CONFIRMED)

UNIT 1, 3 & 5 ELECTRICAL METERS LOCATED ON PIER

UNIT 2, 4 & 6 ELECTRICAL METERS LOCATED ON PIER

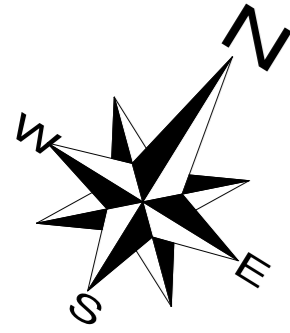
PROPOSED STRATA DESIGN LAYOUT (SUBDIVISION) LOT 53 (#30) SACKVILLE TERRACE, SCARBOROUGH
LOCAL AUTHORITY : CITY OF STIRLING
LPS3 ZONING : RESIDENTIAL R40 - Refer Clause 5.3.4
ORIGINAL LOT SIZE : 1389m²
ORIGINAL N° LOTS : ONE (1)
PROPOSED N° LOTS : SIX (6)
COMMON PROPERTY : YES

GROUP DWELLING MIN. SITE AREA / DWELLING : MIN. 180 m²
AVG. SITE AREA / DWELLING : AVG. 220 m²
OPEN SPACE : 45 %
MIN. OUTDOOR LIVING AREA : 20 m²
MIN. SETBACK PRIMARY STREET : 4 m
MIN. SETBACK SECONDARY STREET : 1 m
MIN. SETBACK COMMUNAL STREET : 1 m
ON-SITE VISITOR'S CAR PARKING SPACES : 2 (min) FOR 6 DWELLINGS

UNDERCROFT FLOOR PLAN 1 : 100

ZONED R40

PRELIMINARY UNIT DEVELOPMENT LAYOUT
DESIGN IS SUBJECT TO LOCAL AUTHORITY
APPROVALS AND W.A.P.C. APPROVAL.



City of Stirling
Ref No. DA22/1075
1 Dec 2022
APPROVED
Refer to decision notice

STRATALOT 5 AREA	215,220 m ²
OUTDOOR LIVING AREA	68.14 m ²
UNCOVERED OUTDOOR LIVING AREA (MIN. 13.3m ²)	39.87 m ²
EQUAL SHARE OF COMMON PROPERTY AREA 1/6 x 230,949 m ² =	38,491 m ²
+ STRATALOT 5 AREA	215,220 m ²
SITE TOTAL FOR OPEN SPACE	222,711 m ²
SITE COVER	103,670 m ²
OPEN SPACE	150,041 m ² (59%)
UNIT 5 AREAS	
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OPEN SPACE	103,891 m ² (47%)
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FIRST FLOOR AREA	103,790 m ²
TOTAL AREA	213,544 m ²

STRATALOT 1 AREA	191,000 m ²
OUTDOOR LIVING AREA	36.37 m ²
UNCOVERED OUTDOOR LIVING AREA (MIN. 13.3m ²)	26.48 m ²
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SITE COVER	106,660 m ²
OPEN SPACE	122,831 m ² (54%)
UNIT 1 AREAS	
GROUND FLOOR AREA	106,663 m ²
FIRST FLOOR AREA	118,055 m ²
BALCONY AREA	32,294 m ²
TOTAL AREA	257,112 m ²

UNDERCROFT STRUCTURE
COMMON PROPERTY UNDERCROFT GARAGE,
STORE ROOMS, BIN STORAGE AND PEDESTRIAN
ACCESS AREA

OPEN SPACE CALCULATIONS	
TOTAL SITE AREA:	1389 m ²
TOTAL SITE COVER:	780 m ²
OPEN SPACE:	610 m ² (44%)

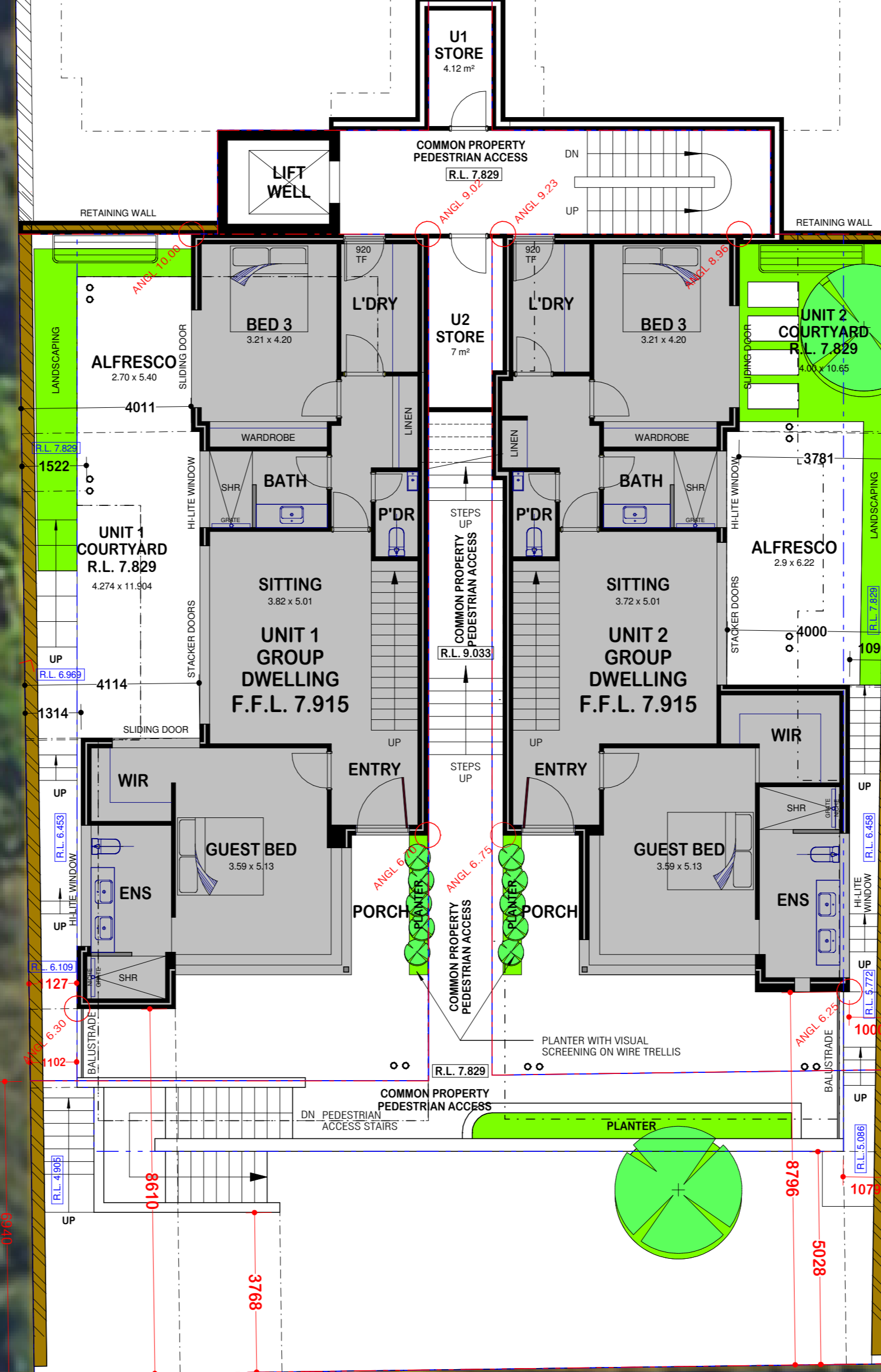
STRATALOT 6 AREA	198,160 m ²
OUTDOOR LIVING AREA	48.00 m ²
UNCOVERED OUTDOOR LIVING AREA (MIN. 13.3m ²)	31.00 m ² (70%)
EQUAL SHARE OF COMMON PROPERTY AREA 1/6 x 230,949 m ² =	38,491 m ²
+ STRATALOT 6 AREA	198,160 m ²
SITE TOTAL FOR OPEN SPACE	238,055 m ²
SITE COVER	100,960 m ²
OPEN SPACE	135,691 m ² (57%)
UNIT 6 AREAS	
GROUND FLOOR AREA	102,159 m ²
FIRST FLOOR AREA	96,726 m ²
TOTAL AREA	198,879 m ²

STRATALOT 4 AREA	180,543 m ²
OUTDOOR LIVING AREA	20.40 m ²
UNCOVERED OUTDOOR LIVING AREA (MIN. 13.3m ²)	14.229 m ² (70%)
EQUAL SHARE OF COMMON PROPERTY AREA 1/6 x 230,949 m ² =	38,491 m ²
+ STRATALOT 4 AREA	180,543 m ²
SITE TOTAL FOR OPEN SPACE	238,055 m ²
SITE COVER	120,210 m ²
OPEN SPACE	98,825 m ² (45%)
UNIT 4 AREAS	
GROUND FLOOR AREA	113,789 m ²
FIRST FLOOR AREA	100,796 m ²
TOTAL AREA	214,585 m ²

STRATALOT 2 AREA	189,000 m ²
OUTDOOR LIVING AREA	24.19 m ²
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SITE COVER	108,530 m ²
OPEN SPACE	118,961 m ² (52%)
UNIT 2 AREAS	
GROUND FLOOR AREA	108,529 m ²
FIRST FLOOR AREA	118,551 m ²
BALCONY AREA	36,430 m ²
TOTAL AREA	263,510 m ²

UNIT 1 GROUND FLOOR A.N.G.L. CALCS
(RL 6.30 + RL 6.70 + RL 10.00 + RL 9.02) / 4
= GROUND FLOOR A.N.G.L. RL 8.01

UNIT 2 GROUND FLOOR A.N.G.L. CALCS
(RL 6.25 + RL 6.75 + RL 9.23 + RL 8.96) / 4
= GROUND FLOOR A.N.G.L. RL 7.80



DRAWINGS ISSUED FOR PLANNING APPLICATION

DRAWING TITLE	
GROUND FLOOR UNIT 1 & 2 PLAN	
SCALE	PAGE 102
1 : 100	A1
DRAWN BY JABIRU	
CLIENTS GRIFFIN GROUP	
PROJECT PROPOSED SIX GROUP DWELLINGS AT LOT 53 (HS#30) SACKVILLE TERRACE, SCARBOROUGH CITY OF STIRLING	
PROJECT No.	DATE
21-327	OCT. 2022
DRAWN BY	REV
J. BROOKS	05-14

PROPOSED STRATA DESIGN LAYOUT (SUBDIVISION) LOT 53 (#30) SACKVILLE TERRACE, SCARBOROUGH

LOCAL AUTHORITY : CITY OF STIRLING
LPS3 ZONING : RESIDENTIAL R40 - Refer Clause 5.3.4
ORIGINAL LOT SIZE : 1389m²
ORIGINAL N° LOTS : ONE (1)
PROPOSED N° LOTS : SIX (6)
COMMON PROPERTY : YES

GROUP DWELLING MIN. SITE AREA / DWELLING : MIN. 180 m²
AVG. SITE AREA / DWELLING : AVG. 229 m²
OPEN SPACE : 45 %
MIN. OUTDOOR LIVING AREA : 20 m²
MIN. SETBACK PRIMARY STREET : 4 m
MIN. SETBACK SECONDARY STREET : 1 m
MIN. SETBACK COMMUNAL STREET : 1 m
ON-SITE VISITOR'S CAR PARKING SPACES : 2 (min) FOR 6 DWELLINGS

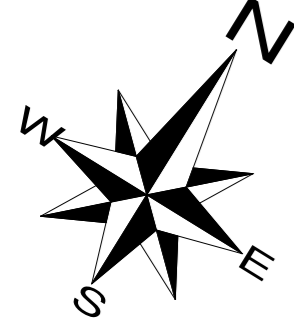
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Phone: 082 152 396 Email: info@finelines.com.au

GROUND FLOOR UNIT 1 & 2 PLAN 1 : 100

ZONED R40

PRELIMINARY UNIT DEVELOPMENT LAYOUT DESIGN IS SUBJECT TO LOCAL AUTHORITY APPROVALS AND W.A.P.C. APPROVAL.

City of Stirling
Ref No. DA22/1075
1 Dec 2022
APPROVED
Refer to decision notice



STRATALOT 5 AREA	215,220 m ²
OUTDOOR LIVING AREA	68.14 m ²
UNCOVERED OUTDOOR LIVING AREA (MIN. 13.3m ²)	39.87 m ²
EQUAL SHARE OF COMMON PROPERTY AREA	1.8 x 230,949 m ² = 38,491 m ²
+ STRATALOT 5 AREA	215,220 m ²
SITE TOTAL FOR OPEN SPACE	232,711 m ²
SITE COVER	103,670 m ²
OPEN SPACE	150,041 m ² (65%)
UNIT 5 AREAS	
GROUND FLOOR AREA	103,672 m ²
FIRST FLOOR AREA	99,956 m ²
TOTAL AREA	203,628 m ²

5.4.2. SOLAR ACCESS FOR ADJOINING SITES
THE PROPOSED SHADOW CAST AT MIDDAY, 21st JUNE ONTO THE ADJOINING PROPERTY IS 231 m². THE SUBJECT LOTS (HS #30) SHARED BOUNDARY LENGTH WITH HS # 28 IS 87% OF ITS TOTAL BOUNDARY. THEREFORE 87% OF THE ADJOINING SITE'S 2135 m² IS PROPORTIONALLY 1865 m². THIS RESULTS IN A TOTAL OF 13% OVERSHADOWING. THIS IS LESS THAN 35% OF THE AREA OF THE ADJOINING R40 CODED SITE.

STRATALOT 3 AREA	184,030 m ²
OUTDOOR LIVING AREA	24.23 m ²
UNCOVERED OUTDOOR LIVING AREA (MIN. 13.3m ²)	14.55 m ²
EQUAL SHARE OF COMMON PROPERTY AREA	1.8 x 230,949 m ² = 38,491 m ²
+ STRATALOT 3 AREA	184,030 m ²
SITE TOTAL FOR OPEN SPACE	222,521 m ²
SITE COVER	118,630 m ²
OPEN SPACE	103,891 m ² (47%)
UNIT 3 AREAS	
GROUND FLOOR AREA	109,754 m ²
FIRST FLOOR AREA	103,790 m ²
TOTAL AREA	213,544 m ²

UNIT 1 UPPER FLOOR A.N.G.L. CALCS
(RL 6.20 + RL 6.10 + RL 9.50 + RL 9.02) / 4
= A.N.G.L. RL 7.705

STRATALOT 1 AREA	191,000 m ²
OUTDOOR LIVING AREA	36.37 m ²
UNCOVERED OUTDOOR LIVING AREA (MIN. 13.3m ²)	26.48 m ²
EQUAL SHARE OF COMMON PROPERTY AREA	1.8 x 230,949 m ² = 38,491 m ²
+ STRATALOT 1 AREA	191,000 m ²
SITE TOTAL FOR OPEN SPACE	222,691 m ²
SITE COVER	106,660 m ²
OPEN SPACE	122,831 m ² (54%)
UNIT 1 AREAS	
GROUND FLOOR AREA	106,663 m ²
FIRST FLOOR AREA	118,055 m ²
BALCONY AREA	32,294 m ²
TOTAL AREA	257,112 m ²

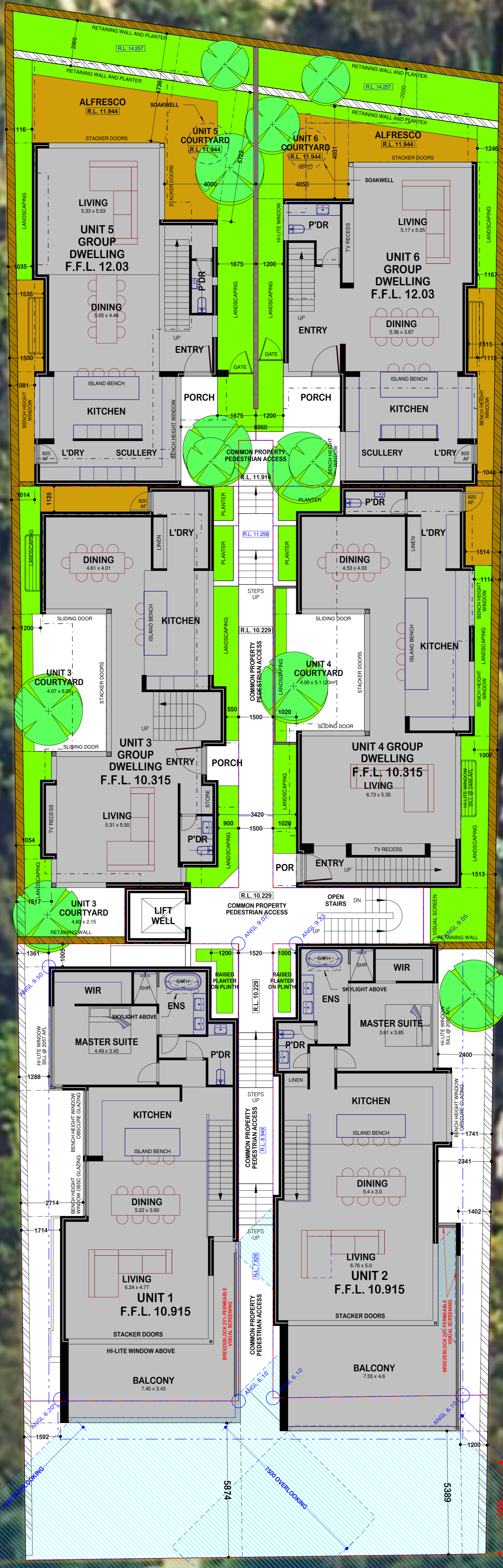
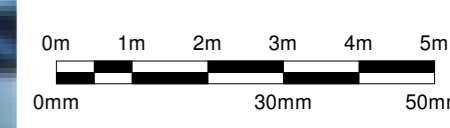
UNDERCROFT STRUCTURE
COMMON PROPERTY UNDERCROFT GARAGE, STORE ROOMS, BIN STORAGE AND PEDESTRIAN ACCESS AREA
464,727 m²

OPEN SPACE CALCULATIONS	
TOTAL SITE AREA	1389 m ²
TOTAL SITE COVER	780 m ²
OPEN SPACE	610 m ² (44%)

STRATALOT 6 AREA	198,160 m ²
OUTDOOR LIVING AREA	49.00 m ²
UNCOVERED OUTDOOR LIVING AREA (MIN. 13.3m ²)	31.00 m ² (70%)
EQUAL SHARE OF COMMON PROPERTY AREA	1.8 x 230,949 m ² = 38,491 m ²
+ STRATALOT 6 AREA	198,160 m ²
SITE TOTAL FOR OPEN SPACE	238,051 m ²
SITE COVER	100,960 m ²
OPEN SPACE	135,691 m ² (57%)
UNIT 6 AREAS	
GROUND FLOOR AREA	102,159 m ²
FIRST FLOOR AREA	96,720 m ²
TOTAL AREA	198,879 m ²

STRATALOT 4 AREA	180,543 m ²
OUTDOOR LIVING AREA	20.400 m ²
UNCOVERED OUTDOOR LIVING AREA (MIN. 13.3m ²)	14.229 m ² (70%)
EQUAL SHARE OF COMMON PROPERTY AREA	1.8 x 230,949 m ² = 38,491 m ²
+ STRATALOT 4 AREA	180,543 m ²
SITE TOTAL FOR OPEN SPACE	218,025 m ²
SITE COVER	120,210 m ²
OPEN SPACE	98,825 m ² (45%)
UNIT 4 AREAS	
GROUND FLOOR AREA	113,789 m ²
FIRST FLOOR AREA	100,796 m ²
TOTAL AREA	214,585 m ²

STRATALOT 2 AREA	189,000 m ²
OUTDOOR LIVING AREA	24.19 m ²
UNCOVERED OUTDOOR LIVING AREA (MIN. 13.3m ²)	22.820 m ²
EQUAL SHARE OF COMMON PROPERTY AREA	1.8 x 230,949 m ² = 38,491 m ²
+ STRATALOT 2 AREA	189,000 m ²
SITE TOTAL FOR OPEN SPACE	227,491 m ²
SITE COVER	108,530 m ²
OPEN SPACE	118,961 m ² (52%)
UNIT 2 AREAS	
GROUND FLOOR AREA	108,529 m ²
FIRST FLOOR AREA	118,551 m ²
BALCONY AREA	36,430 m ²
TOTAL AREA	263,510 m ²



UNIT 2 UPPER FLOOR A.N.G.L. CALCS
(RL 6.10 + RL 6.10 + RL 9.23 + RL 9.05) / 4
= A.N.G.L. RL 7.62

STRATALOT 1 AREA: 191,000 m²
OUTDOOR LIVING AREA: 36.37 m²
UNCOVERED OUTDOOR LIVING AREA (MIN. 13.3m²): 26.48 m²

STRATALOT 2 AREA: 189,000 m²
OUTDOOR LIVING AREA: 24.19 m²
UNCOVERED OUTDOOR LIVING AREA (MIN. 13.3m²): 22.820 m²

STRATALOT 3 AREA: 184,030 m²
OUTDOOR LIVING AREA: 24.23 m²
UNCOVERED OUTDOOR LIVING AREA (MIN. 13.3m²): 14.55 m²

STRATALOT 4 AREA: 180,543 m²
OUTDOOR LIVING AREA: 20.400 m²
UNCOVERED OUTDOOR LIVING AREA (MIN. 13.3m²): 14.229 m²

STRATALOT 5 AREA: 215,220 m²
OUTDOOR LIVING AREA: 68.14 m²
UNCOVERED OUTDOOR LIVING AREA (MIN. 13.3m²): 39.87 m²

STRATALOT 6 AREA: 198,160 m²
OUTDOOR LIVING AREA: 49.00 m²
UNCOVERED OUTDOOR LIVING AREA (MIN. 13.3m²): 31.00 m²

UNIT 1 AREAS: GROUND FLOOR AREA 106,663 m², FIRST FLOOR AREA 118,055 m², BALCONY AREA 32,294 m², TOTAL AREA 257,112 m²

UNIT 2 AREAS: GROUND FLOOR AREA 108,529 m², FIRST FLOOR AREA 118,551 m², BALCONY AREA 36,430 m², TOTAL AREA 263,510 m²

UNIT 3 AREAS: GROUND FLOOR AREA 109,754 m², FIRST FLOOR AREA 103,790 m², TOTAL AREA 213,544 m²

UNIT 4 AREAS: GROUND FLOOR AREA 113,789 m², FIRST FLOOR AREA 100,796 m², TOTAL AREA 214,585 m²

UNIT 5 AREAS: GROUND FLOOR AREA 103,672 m², FIRST FLOOR AREA 99,956 m², TOTAL AREA 203,628 m²

UNIT 6 AREAS: GROUND FLOOR AREA 102,159 m², FIRST FLOOR AREA 96,720 m², TOTAL AREA 198,879 m²

UNDERCROFT STRUCTURE: COMMON PROPERTY UNDERCROFT GARAGE, STORE ROOMS, BIN STORAGE AND PEDESTRIAN ACCESS AREA 464,727 m²

OPEN SPACE CALCULATIONS: TOTAL SITE AREA 1389 m², TOTAL SITE COVER 780 m², OPEN SPACE 610 m² (44%)

PROPOSED STRATA DESIGN LAYOUT (SUBDIVISION) LOT 53 (#30) SACKVILLE TERRACE, SCARBOROUGH

LOCAL AUTHORITY: CITY OF STIRLING
LPS ZONING: RESIDENTIAL R40 - Refer Clause 5.3.4
ORIGINAL LOT SIZE: 1389m²
ORIGINAL N° LOTS: ONE (1)
PROPOSED N° LOTS: SIX (6)
COMMON PROPERTY: YES

GROUP DWELLING MIN. SITE AREA / DWELLING: MIN. 180 m²
AVG. SITE AREA / DWELLING: AVG. 220 m²
OPEN SPACE: 45 %
MIN. OUTDOOR LIVING AREA: 20 m²
MIN. SETBACK PRIMARY STREET: 4 m
MIN. SETBACK SECONDARY STREET: 1 m
MIN. SETBACK COMMUNAL STREET: 1 m
ON-SITE VISITOR'S CAR PARKING SPACES: 2 (min) FOR 6 DWELLINGS

DRAWINGS ISSUED FOR PLANNING APPLICATION

DRAWING TITLE: FLOOR PLAN
SCALE: 1 : 100
PAGE: 002
REV: A1
DESIGNER: JABIRU
CLIENTS: GRIFFIN GROUP
PROJECT: PROPOSED SIX GROUP DWELLINGS AT LOT 53 (HS#30) SACKVILLE TERRACE, SCARBOROUGH CITY OF STIRLING
PROJECT NO: 21-327
DATE: OCT. 2022
REV: HS.
DRAWN: J. BROOKS
DWG NO: 06-14

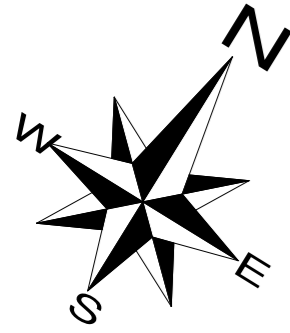
NOTE: THESE PLANS ARE DRAWN USING THE PLANS AND DETAILS SUPPLIED TO FINE LINES DRAFTING. I CHECKED ALL DIMENSIONS ON SITE PRIOR TO SETTING OUT AND I CORRECTED ANY ERRORS. DO NOT SCALE FROM THESE DRAWINGS. I AM NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THESE PLANS. ALL STATUTORY AUTHORITY REGULATIONS WHICH ARE IN THE EVENT OF ANY DISCREPANCY SHALL TAKE PRECEDENCE OVER THESE DRAWINGS. ALL WORK MUST BE IN ACCORDANCE WITH THE B.C.A CODES AND STANDARDS AND THE BUILDING SPECIFICATION. ALL PLANS MUST BE READ IN CONJUNCTION WITH THE ENGINEER'S DRAWINGS AND THE BUILDING SPECIFICATION. ALL SPACES OBTAINED FROM SUPPLIED PLANS AND SURVEYORS PLANS SHOULD TO CHECK ALL DIMENSIONS ON SITE. FROM SUPPLIED PLANS. FINE LINES DRAFTING ACCEPTS NO RESPONSIBILITY FOR ANY ERRORS OR OMISSIONS OR FROM THE SUPPLIED INFORMATION.

fine lines DRAFTING
© 1991-2022
57 BLAKE BEACH ROAD, ELKA VA 6028
Phone: 042 152 796 Email: info@fineindrafting.com.au

FIRST FLOOR UNIT 1 & 2 - GROUND FLOOR UNIT 3 - 6 PLAN 1 : 100

ZONED R40

PRELIMINARY UNIT DEVELOPMENT LAYOUT DESIGN IS SUBJECT TO LOCAL AUTHORITY APPROVALS AND W.A.P.C. APPROVAL.



STRATALOT 5 AREA	215,220 m ²
OUTDOOR LIVING AREA	68.14 m ²
UNCOVERED OUTDOOR LIVING AREA (MIN. 13.3m ²)	39.87 m ²
EQUAL SHARE OF COMMON PROPERTY AREA	1/6 x 230,949 m ² = 38,491 m ²
+ STRATALOT 5 AREA	215,220 m ²
SITE TOTAL FOR OPEN SPACE	252,711 m ²
SITE COVER	103,670 m ²
OPEN SPACE	150,041 m ² (59%)
UNIT 5 AREAS	
GROUND FLOOR AREA	103,672 m ²
FIRST FLOOR AREA	99,956 m ²
TOTAL AREA	203,628 m ²

5.4.2. SOLAR ACCESS FOR ADJOINING SITES
THE PROPOSED SHADOW CAST AT MIDDAY, 21st JUNE ONTO THE ADJOINING PROPERTY IS 231 m². THE SUBJECT LOTS (HS #30) SHARED BOUNDARY LENGTH WITH HS # 28 IS 87% OF ITS TOTAL BOUNDARY. THEREFORE 87% OF THE ADJOINING SITE'S 2135 m² IS PROPORTIONALLY 1865 m². THIS RESULTS IN A TOTAL OF 13% OVERSHADOWING. THIS IS LESS THAN 35% OF THE AREA OF THE ADJOINING R40 CODED SITE.

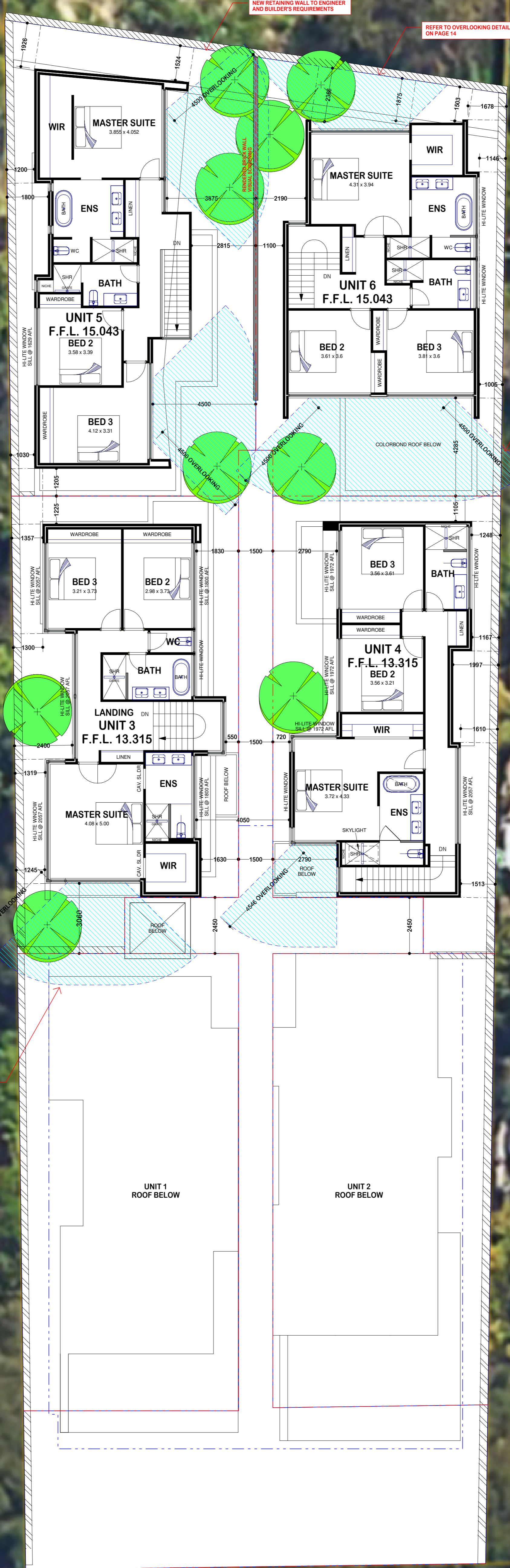
STRATALOT 3 AREA	184,030 m ²
OUTDOOR LIVING AREA	24.23 m ²
UNCOVERED OUTDOOR LIVING AREA (MIN. 13.3m ²)	14.55 m ²
EQUAL SHARE OF COMMON PROPERTY AREA	1/6 x 230,949 m ² = 38,491 m ²
+ STRATALOT 3 AREA	184,030 m ²
SITE TOTAL FOR OPEN SPACE	222,521 m ²
SITE COVER	118,630 m ²
OPEN SPACE	103,891 m ² (47%)
UNIT 3 AREAS	
GROUND FLOOR AREA	109,754 m ²
FIRST FLOOR AREA	103,790 m ²
TOTAL AREA	213,544 m ²

STRATALOT 1 AREA	191,000 m ²
OUTDOOR LIVING AREA	36.37 m ²
UNCOVERED OUTDOOR LIVING AREA (MIN. 13.3m ²)	26.48 m ²
EQUAL SHARE OF COMMON PROPERTY AREA	1/6 x 230,949 m ² = 38,491 m ²
+ STRATALOT 1 AREA	191,000 m ²
SITE TOTAL FOR OPEN SPACE	222,691 m ²
SITE COVER	106,660 m ²
OPEN SPACE	122,831 m ² (54%)
UNIT 1 AREAS	
GROUND FLOOR AREA	106,663 m ²
FIRST FLOOR AREA	118,055 m ²
BALCONY AREA	32,294 m ²
TOTAL AREA	257,112 m ²

UNDERCROFT STRUCTURE	
COMMON PROPERTY UNDERCROFT GARAGE, STORE ROOMS, BIN STORAGE AND PEDESTRIAN ACCESS AREA	464,727 m ²

OPEN SPACE CALCULATIONS	
TOTAL SITE AREA:	1389 m ²
TOTAL SITE COVER:	780 m ²
OPEN SPACE:	610 m ² (44%)

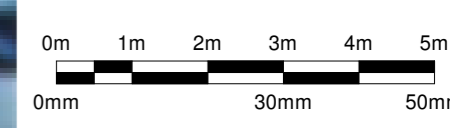
City of Stirling
Ref No. DA22/1075
1 Dec 2022
APPROVED
Refer to decision notice



STRATALOT 6 AREA	198,160 m ²
OUTDOOR LIVING AREA	48.00 m ²
UNCOVERED OUTDOOR LIVING AREA (MIN. 13.3m ²)	31.00 m ² (70%)
EQUAL SHARE OF COMMON PROPERTY AREA	1/6 x 230,949 m ² = 38,491 m ²
+ STRATALOT 6 AREA	198,160 m ²
SITE TOTAL FOR OPEN SPACE	238,055 m ²
SITE COVER	100,960 m ²
OPEN SPACE	135,691 m ² (57%)
UNIT 6 AREAS	
GROUND FLOOR AREA	102,159 m ²
FIRST FLOOR AREA	96,720 m ²
TOTAL AREA	198,879 m ²

STRATALOT 4 AREA	180,543 m ²
OUTDOOR LIVING AREA	20.400 m ²
UNCOVERED OUTDOOR LIVING AREA (MIN. 13.3m ²)	14.229 m ² (70%)
EQUAL SHARE OF COMMON PROPERTY AREA	1/6 x 230,949 m ² = 38,491 m ²
+ STRATALOT 4 AREA	180,543 m ²
SITE TOTAL FOR OPEN SPACE	238,055 m ²
SITE COVER	120,210 m ²
OPEN SPACE	98,825 m ² (45%)
UNIT 4 AREAS	
GROUND FLOOR AREA	113,789 m ²
FIRST FLOOR AREA	100,796 m ²
TOTAL AREA	214,585 m ²

STRATALOT 2 AREA	189,000 m ²
OUTDOOR LIVING AREA	24.19 m ²
UNCOVERED OUTDOOR LIVING AREA (MIN. 13.3m ²)	22.820 m ²
EQUAL SHARE OF COMMON PROPERTY AREA	1/6 x 230,949 m ² = 38,491 m ²
+ STRATALOT 2 AREA	189,000 m ²
SITE TOTAL FOR OPEN SPACE	227,481 m ²
SITE COVER	108,530 m ²
OPEN SPACE	118,961 m ² (52%)
UNIT 2 AREAS	
GROUND FLOOR AREA	108,529 m ²
FIRST FLOOR AREA	118,551 m ²
BALCONY AREA	36,430 m ²
TOTAL AREA	263,511 m ²



DRAWINGS ISSUED FOR PLANNING APPLICATION

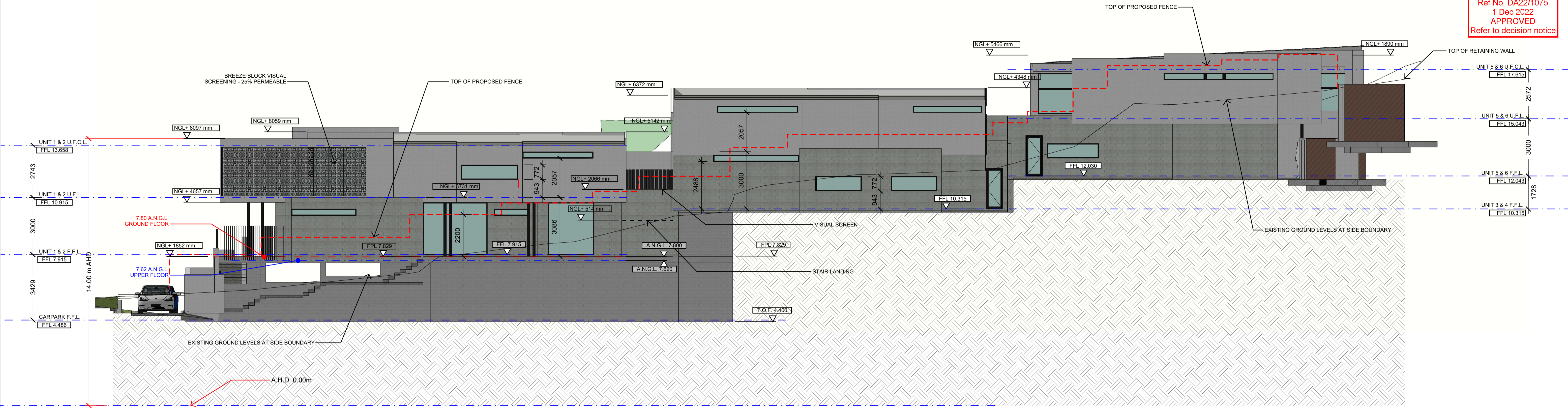
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FIRST FLOOR PLAN	
SCALE	PAGE 102
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DRAWN	
JABIRU	
CLIENTS	
GRIFFIN GROUP	
PROJECT	
PROPOSED SIX GROUP DWELLINGS AT LOT 53 (HS#30) SACKVILLE TERRACE, SCARBOROUGH CITY OF STIRLING	
PROJECT No.	DATE
21-327	OCT. 2022
BY	HS.
DRAWN	DWG No.
J. BROOKS	07-14

PROPOSED STRATA DESIGN LAYOUT (SUBDIVISION)
LOT 53 (#30) SACKVILLE TERRACE, SCARBOROUGH
LOCAL AUTHORITY : CITY OF STIRLING
LP33 ZONING : RESIDENTIAL R40 - Refer Clause 5.3.4
ORIGINAL LOT SIZE : 1389m²
ORIGINAL N° LOTS : ONE (1)
PROPOSED N° LOTS : SIX (6)
COMMON PROPERTY : YES

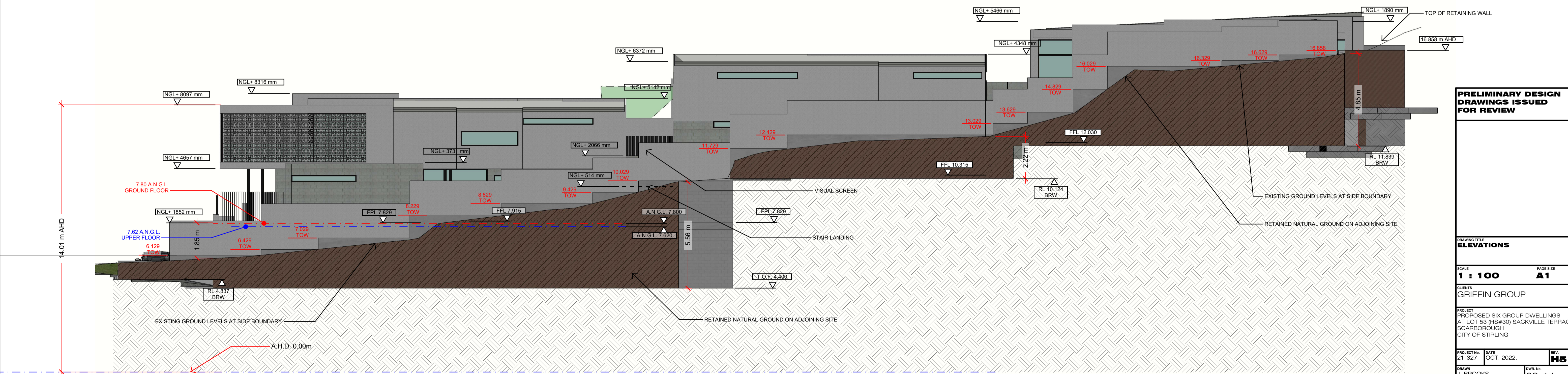
GROUP DWELLING MIN. SITE AREA / DWELLING : MIN. 180 m²
AVG. SITE AREA / DWELLING : AVG. 229 m²
OPEN SPACE : 45 %
MIN. OUTDOOR LIVING AREA : 20 m²
MIN. SETBACK PRIMARY STREET : 4 m
MIN. SETBACK SECONDARY STREET : 1 m
MIN. SETBACK COMMUNAL STREET : 1 m
ON-SITE VISITOR'S CAR PARKING SPACES : 2 (min) FOR 6 DWELLINGS

FIRST FLOOR UNIT 3 - 6 OVERLOOKING PLAN 1 : 100

fine lines DRAFTING
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57 BLAKE BEACH ROAD, ELKA VA 6038
Phone: 042 152 396 Email: info@finelinesdrafting.com.au



1 EAST ELEVATION
 A00 SCALE: 1:100



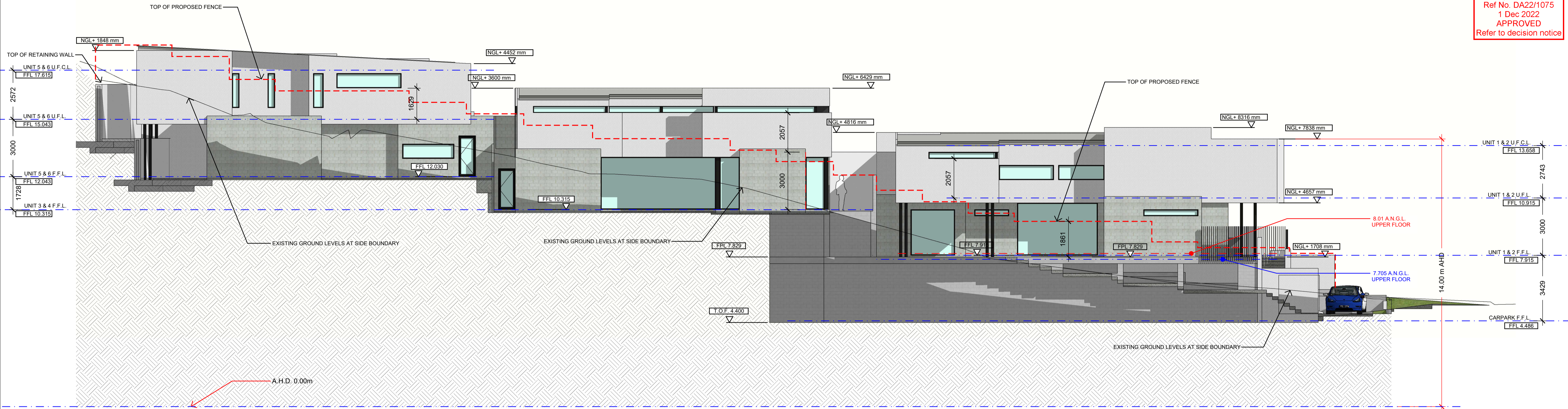
2 EAST BOUNDARY RETAINING & FENCE ELEVATION
 A01 SCALE: 1:100

**PRELIMINARY DESIGN
 DRAWINGS ISSUED
 FOR REVIEW**

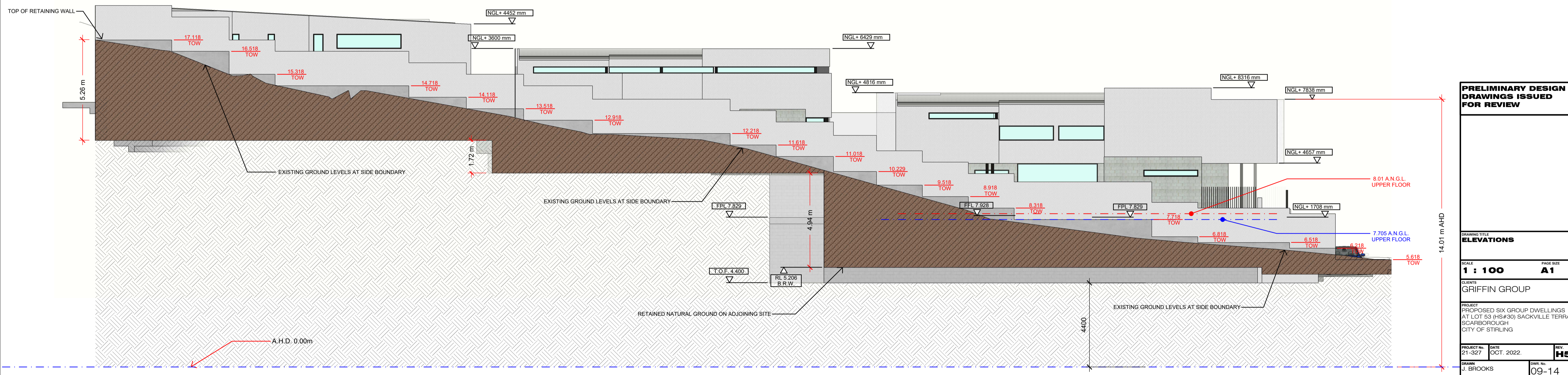
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ELEVATIONS	
SCALE	PAGE SIZE
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CLIENT	
GRIFFIN GROUP	
PROJECT	
PROPOSED SIX GROUP DWELLINGS AT LOT 53 (H9#30) SACKVILLE TERRACE, SCARBOROUGH CITY OF STIRLING	
PROJECT No.	DATE
21-327	OCT. 2022.
DRAWN	REV.
J. BROOKS	H5
DWN. No.	
08-14	

NOTE: THESE PLANS ARE DRAWN USING THE PLANS AND DETAILS SUPPLIED TO FINE LINES DRAFTING.

1. CHECK ALL DIMENSIONS ON SITE PRIOR TO SETTING OUT AND TO BE RECORDED AND MOVED EXACTLY TO THE POSITION SHOWN ON ALL STATUTORY AUTHORITY REGULATIONS WHICH IN THE EVENT OF ANY DISCREPANCY SHALL TAKE PRECEDENCE OVER THESE DRAWINGS.
2. THE CLIENT AND THE ENGINEER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ALL STRUCTURES AND SERVICES SHOWN ON THESE DRAWINGS.
3. ALL WORK TO BE IN ACCORDANCE WITH THE S.C.A. CODES AND THE RELEVANT AUSTRALIAN STANDARDS.
4. THE ENGINEER HAS CONDUCTED VISUAL INSPECTIONS OF THE SITE AND HAS NOT CONDUCTED ANY OTHER INVESTIGATIONS.
5. ALL DIMENSIONS SHOWN ON THESE DRAWINGS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
6. THESE DRAWINGS ARE PRELIMINARY AND ARE NOT TO BE USED FOR CONSTRUCTION WITHOUT THE WRITTEN AUTHORITY OF THE ENGINEER.
7. FINE LINES DRAFTING SHALL NOT BE RESPONSIBLE FOR ANY ACCURACIES OR ERRORS FROM THE SUPPLIER OR CONTRACTOR.



3 WEST ELEVATION
 A02 SCALE: 1:100



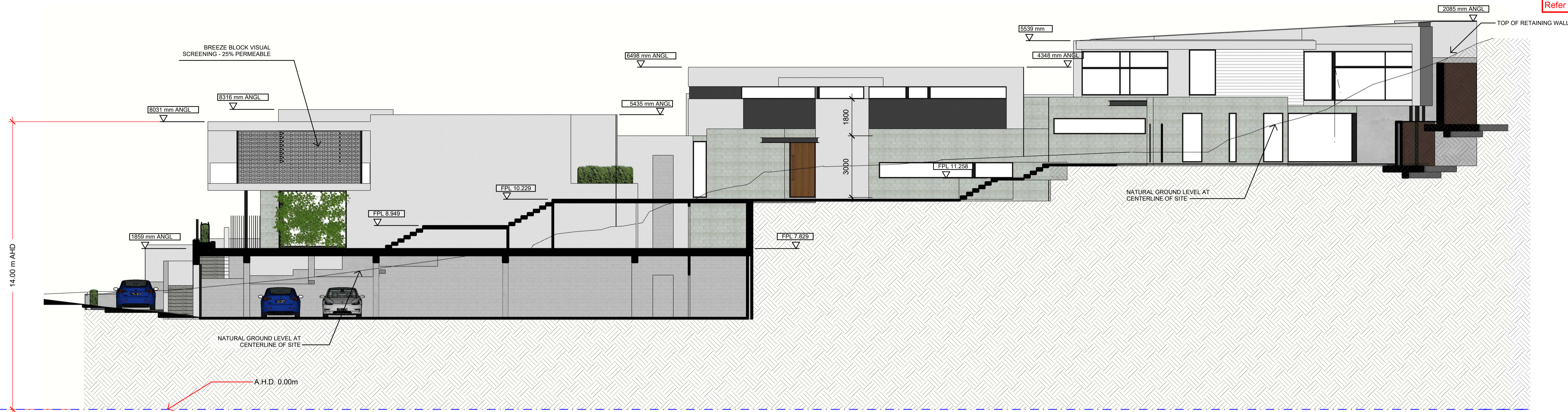
4 WEST BOUNDARY RETAINING & FENCE ELEVATION
 A03 SCALE: 1:100

**PRELIMINARY DESIGN
 DRAWINGS ISSUED
 FOR REVIEW**

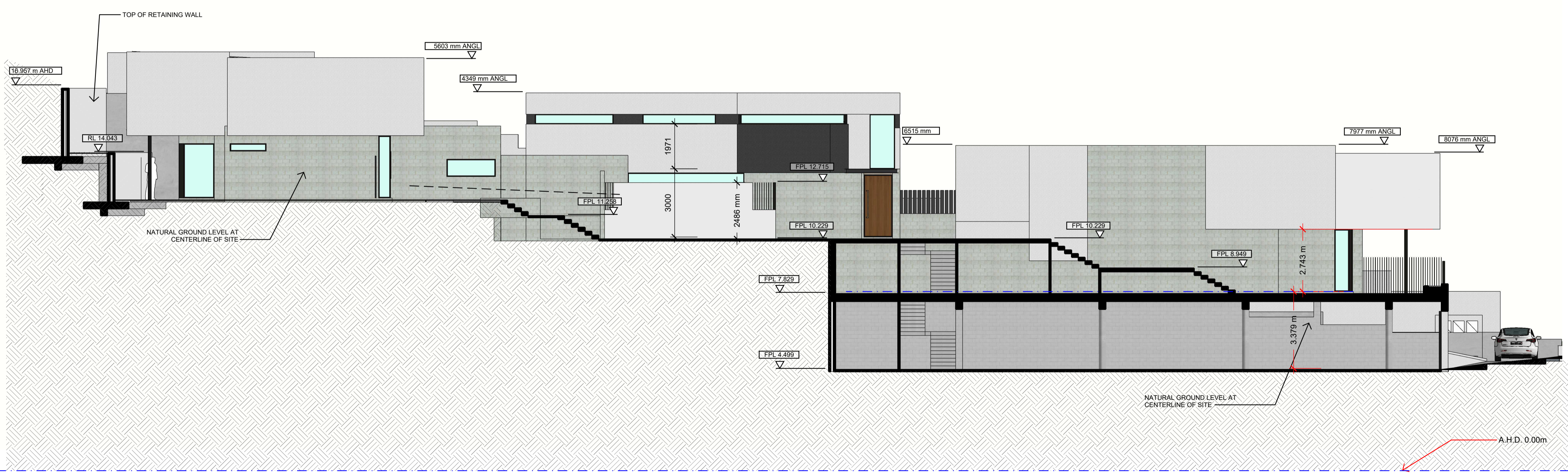
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GRIFFIN GROUP	
PROJECT	
PROPOSED SIX GROUP DWELLINGS AT LOT 53 (H9#30) SACKVILLE TERRACE, SCARBOROUGH CITY OF STIRLING	
PROJECT No.	DATE
21-327	OCT. 2022
DRAWN	REV.
J. BROOKS	H5
DWN. No.	
09-14	

NOTE: THESE PLANS ARE DRAWN USING THE PLANS AND DETAILS SUPPLIED TO FINE LINES DRAFTING.

1. CHECK ALL DIMENSIONS ON SITE PRIOR TO SETTING OUT AND TO CORRECT ANY AND ALL DISCREPANCIES FROM THESE DRAWINGS.
 2. THE CLIENT AND THE ENGINEER SHALL BE RESPONSIBLE FOR ALL STATUTORY AUTHORITY REGULATIONS WHICH IN THE EVENT OF ANY DISCREPANCY SHALL BE THE RESPONSIBILITY OF THE CLIENT.
 3. ALL WORK TO BE IN ACCORDANCE WITH THE S.C.A. CODES AND THE RELEVANT AUSTRALIAN STANDARDS.
 4. ALL WORK TO BE IN ACCORDANCE WITH THE ENGINEER'S DRAWINGS AND THE 2022 SPECIFICATION.
 5. ALL WORK TO BE IN ACCORDANCE WITH THE 2022 SPECIFICATION.
 6. ALL WORK TO BE IN ACCORDANCE WITH THE 2022 SPECIFICATION.
 7. ALL WORK TO BE IN ACCORDANCE WITH THE 2022 SPECIFICATION.
 8. THESE DRAWINGS ARE PRELIMINARY AND THE CLIENT SHALL BE RESPONSIBLE FOR ANY ACCURACIES OR ERRORS FROM THE SUPPLIER OF INFORMATION.



6 EAST ELEVATION - SECTION
 A05 SCALE: 1:100



5 WEST ELEVATION - SECTION
 A04 SCALE: 1:100

**PRELIMINARY DESIGN
 DRAWINGS ISSUED
 FOR REVIEW**

DRAWING TITLE
SITE SECTIONS

SCALE
1 : 100

PAGE SIZE
A1

CLIENT
GRIFFIN GROUP

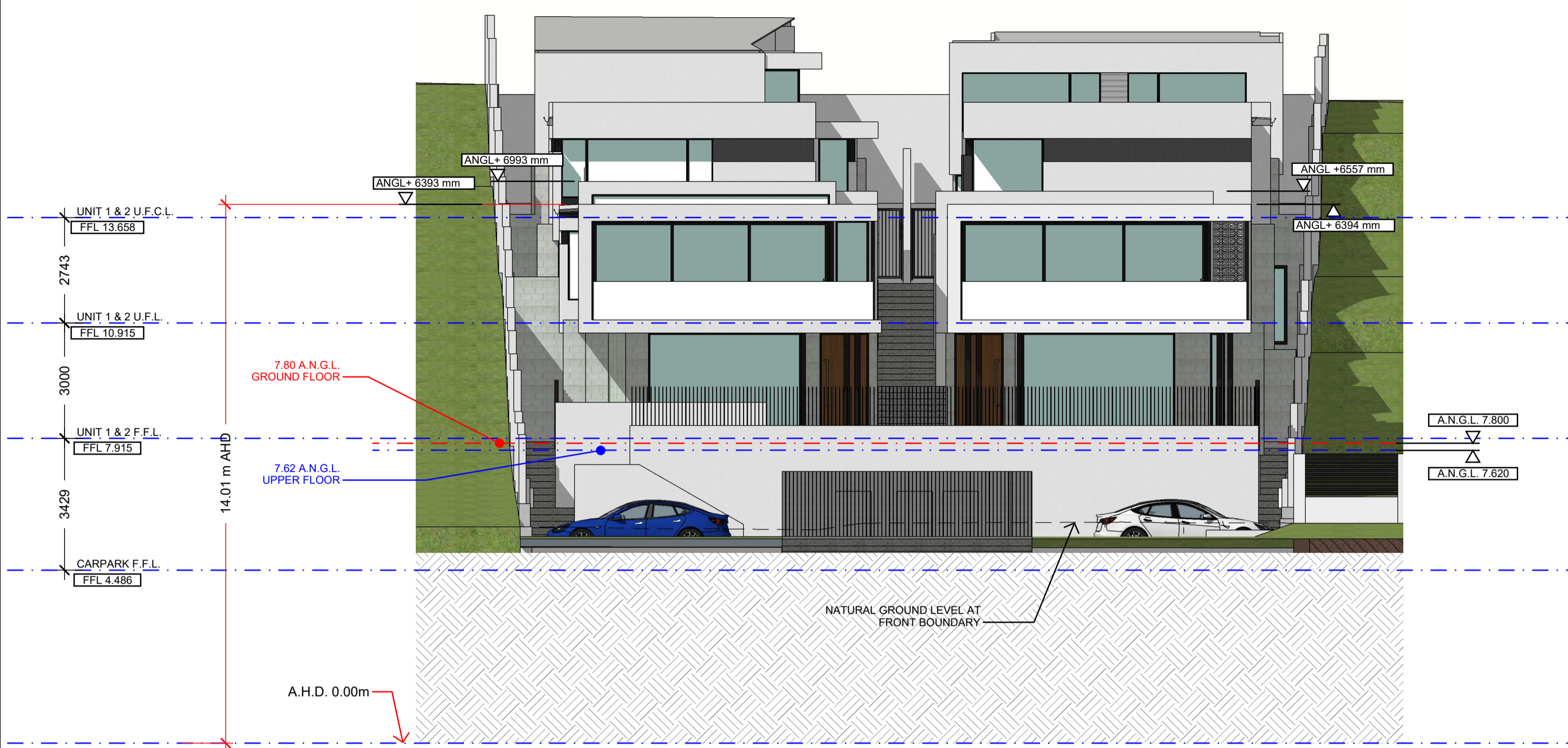
PROJECT
 PROPOSED SIX GROUP DWELLINGS
 AT LOT 53 (H9#30) SACKVILLE TERRACE,
 SCARBOROUGH
 CITY OF STIRLING

PROJECT No. DATE REV.
 21-327 OCT. 2022 **H5**

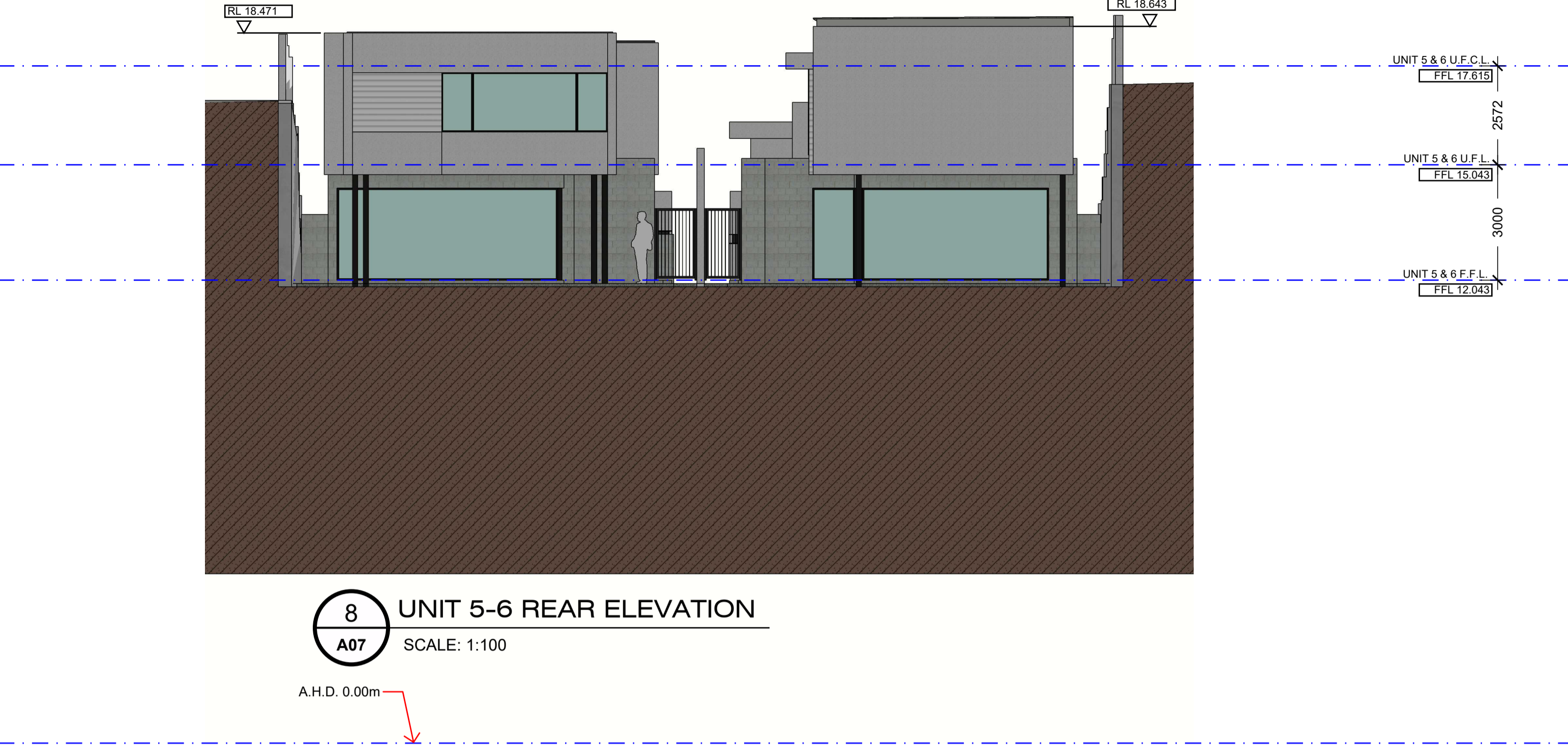
DRAWN BY
 J. BROOKS

DRAWN No.
 10-14

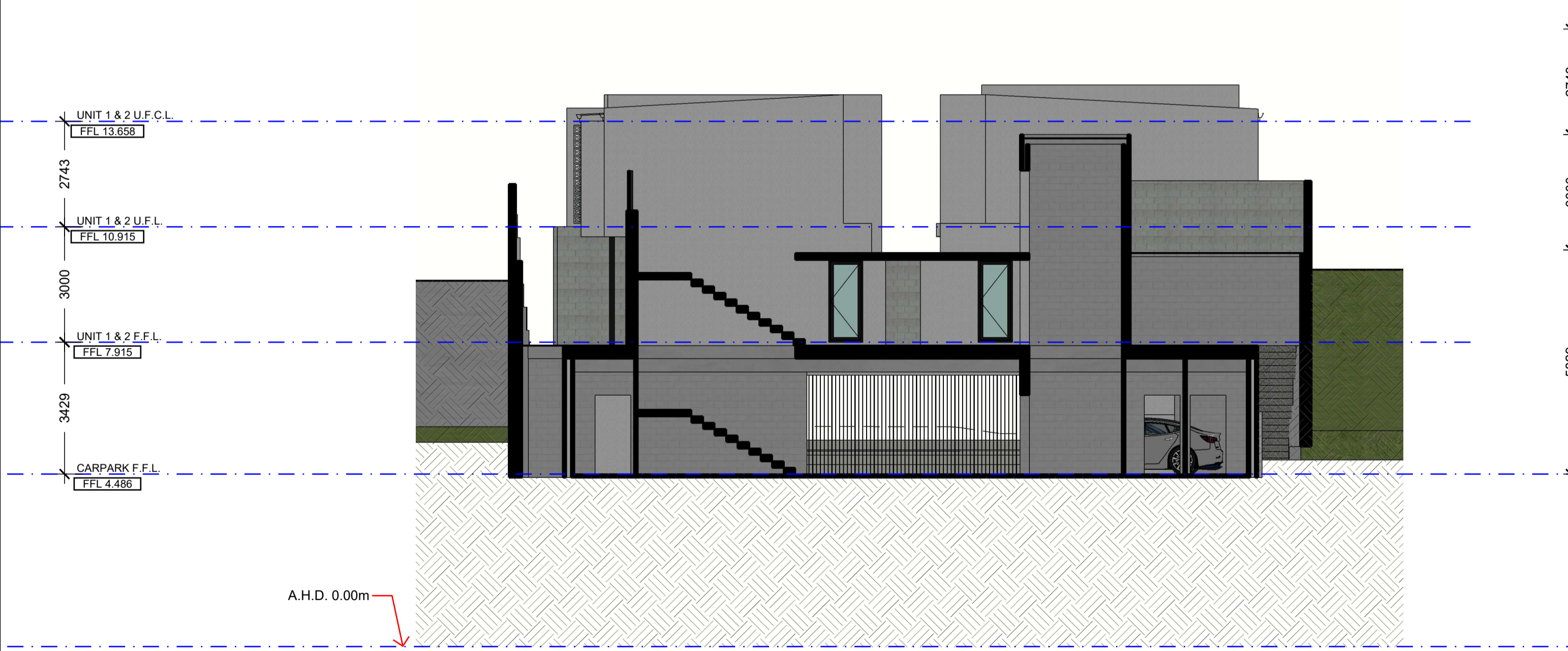
NOTE: THESE PLANS ARE DRAWN USING THE PLANS AND DETAILS SUPPLIED TO FINE LINES DRAFTING.
 1. CHECK ALL DIMENSIONS ON SITE PRIOR TO SETTING OUT AND
 2. DIMENSIONS AND WORK SHALL BE TO THE DIMENSIONS SHOWN ON THESE DRAWINGS.
 3. IF THE DIMENSIONS AND WORK SHOWN ON THESE DRAWINGS DO NOT COMPLY WITH ALL STATUTORY AUTHORITY REGULATIONS WHICH IN THE EVENT OF ANY DISCREPANCY SHALL TAKE PRECEDENCE OVER THESE DRAWINGS.
 4. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES.
 5. ALL WORK SHALL BE IN ACCORDANCE WITH THE B.C.A. CODES AND THE RELEVANT AUSTRALIAN STANDARDS.
 6. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES.
 7. ALL WORK SHALL BE TO THE DIMENSIONS SHOWN ON THESE DRAWINGS.
 8. THESE DRAWINGS ARE PROVIDED AS A GUIDE ONLY AND THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES.
 9. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES.
 10. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES.



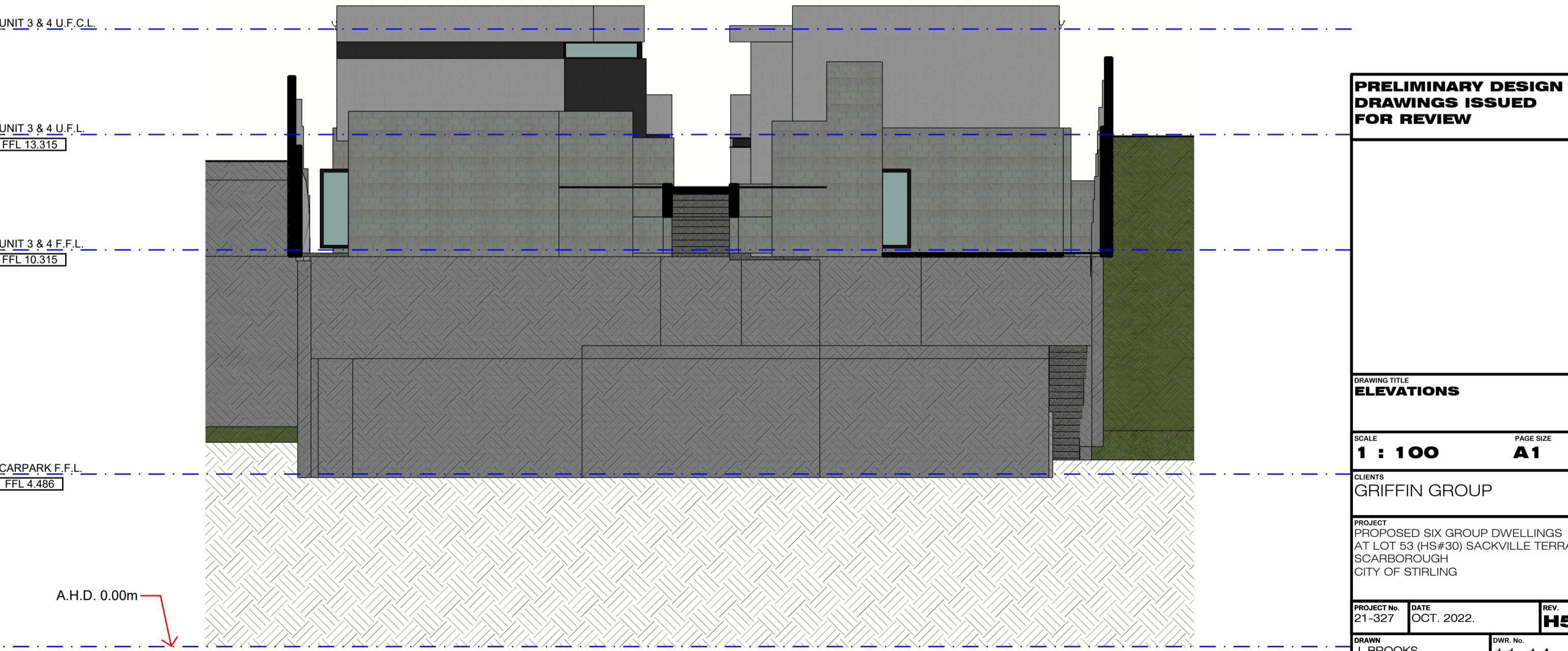
7 UNIT 1-2 FRONT ELEVATION
 A06 SCALE: 1:100



8 UNIT 5-6 REAR ELEVATION
 A07 SCALE: 1:100



9 UNIT 1-2 REAR ELEVATION
 A08 SCALE: 1:100



10 UNIT 3-4 REAR ELEVATION
 A09 SCALE: 1:100

**PRELIMINARY DESIGN
 DRAWINGS ISSUED
 FOR REVIEW**

DRAWING TITLE
ELEVATIONS

SCALE: **1 : 100** PAGE SIZE: **A1**

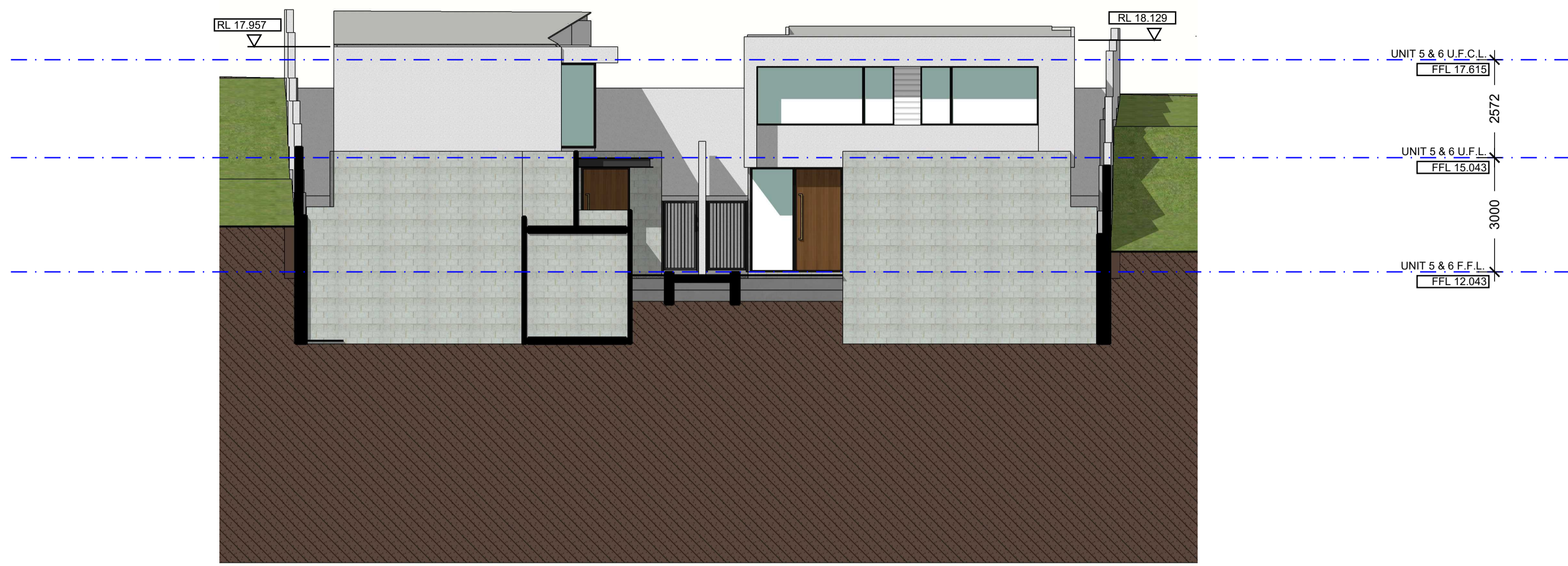
CLIENT:
GRIFFIN GROUP

PROJECT:
 PROPOSED SIX GROUP DWELLINGS
 AT LOT 53 (H9#30) SACKVILLE TERRACE,
 SCARBOROUGH
 CITY OF STIRLING

PROJECT No. **21-327** DATE: **OCT. 2022** REV. **H5**

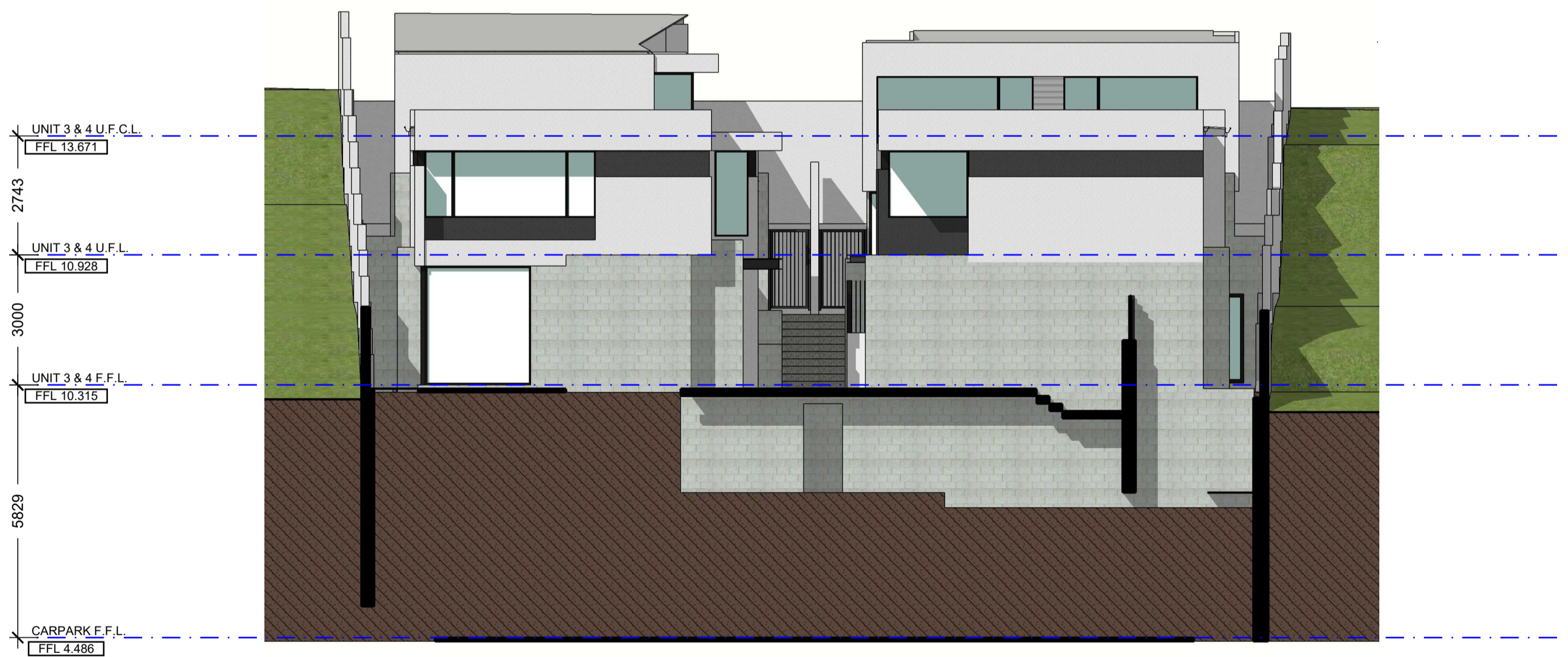
DRAWN: **J. BROOKS** DWG. No. **11-14**

NOTE: THESE PLANS ARE DRAWN USING THE PLANS AND DETAILS SUPPLIED TO FINE LINES DRAFTING.
 1. CHECK ALL DIMENSIONS ON SITE PRIOR TO SETTING OUT AND
 2. DIMENSIONS AND WORK SHALL BE TO THE DIMENSIONS SHOWN ON THESE DRAWINGS.
 3. IN THE EVENT OF ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND ALL STATUTORY AUTHORITY REGULATIONS WHICH IN THE EVENT OF ANY DISCREPANCY SHALL TAKE PRECEDENCE OVER THESE DRAWINGS.
 4. THESE DRAWINGS ARE TO BE USED IN CONJUNCTION WITH THE B.C.A. CODES AND THE RELEVANT AUSTRALIAN STANDARDS.
 5. THESE DRAWINGS ARE TO BE USED IN CONJUNCTION WITH THE ENGINEERS' SPECIFICATIONS AND THE FULL 2022 SPECIFICATION.
 6. ALL WORK SHALL BE TO THE DIMENSIONS SHOWN ON THESE DRAWINGS.
 7. ALL DIMENSIONS SHALL BE TO THE DIMENSIONS SHOWN ON THESE DRAWINGS.
 8. THESE DRAWINGS ARE DRAWN USING AUTOCAD AND THE DIMENSIONS OBTAINED FROM AUTOCAD SHALL TAKE PRECEDENCE OVER THE DIMENSIONS OBTAINED FROM ANY OTHER SOURCE.
 9. FINE LINES DRAFTING SHALL NOT BE RESPONSIBLE FOR ANY ACCURACIES OR ERRORS FROM THE SUPPLIER OR CONTRACTOR.



11 UNIT 5-6 FRONT ELEVATION
 A10 SCALE: 1:100

A.H.D. 0.00m



12 UNIT 3-4 FRONT ELEVATION
 A11 SCALE: 1:100

A.H.D. 0.00m

**PRELIMINARY DESIGN
 DRAWINGS ISSUED
 FOR REVIEW**

DRAWING TITLE
ELEVATIONS

SCALE: **1 : 100** PAGE SIZE: **A1**

CLIENT:
GRIFFIN GROUP

PROJECT:
 PROPOSED SIX GROUP DWELLINGS
 AT LOT 53 (H9#30) SACKVILLE TERRACE,
 SCARBOROUGH
 CITY OF STIRLING

PROJECT No.	DATE	REV.
21-327	OCT. 2022.	H5
DRAWN J. BROOKS	DRAW. No. 12-14	

NOTE: THESE PLANS ARE DRAWN USING THE PLANS AND DETAILS SUPPLIED TO FINE LINES DRAFTING.

1. CHECK ALL DIMENSIONS ON SITE PRIOR TO SETTING OUT AND TO BE CORRECTED AND NOTED EXACTLY ON THESE DRAWINGS.
2. IF THE CLIENTS AND THE ENGINEERS' TELETYPE WITH ALL STATUTORY AUTHORITY REGULATIONS WHICH IN THE EVENT OF ANY DISCREPANCY SHALL TAKE PRECEDENCE OVER THESE DRAWINGS.
3. ALL WORK TO BE IN ACCORDANCE WITH THE B.C.A. CODES AND THE RELEVANT AUSTRALIAN STANDARDS.
4. THE CLIENTS ARE TO BE KEENLY CONSULTED WITH THE ENGINEERS AND THE FINE LINES DRAFTING.
5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE ENGINEERS' PLANS AND DETAILS SUPPLIED TO FINE LINES DRAFTING.
6. THESE DRAWINGS ARE DRAWN USING AUTOMATICALLY OBTAINED SPATIAL DATA AND THE ENGINEERS ACCEPTS NO RESPONSIBILITY FOR ANY INACCURACIES OR ERRORS FROM THE SPATIAL DATA PROVIDED.



SACKVILLE TERRACE

13 ROOF PLAN
 A12 SCALE: 1:100

PRELIMINARY DESIGN
 DRAWINGS ISSUED
 FOR REVIEW

ROOF PLAN

SCALE: 1 : 100 PAGE SIZE: A1

CLIENT: GRIFFIN GROUP

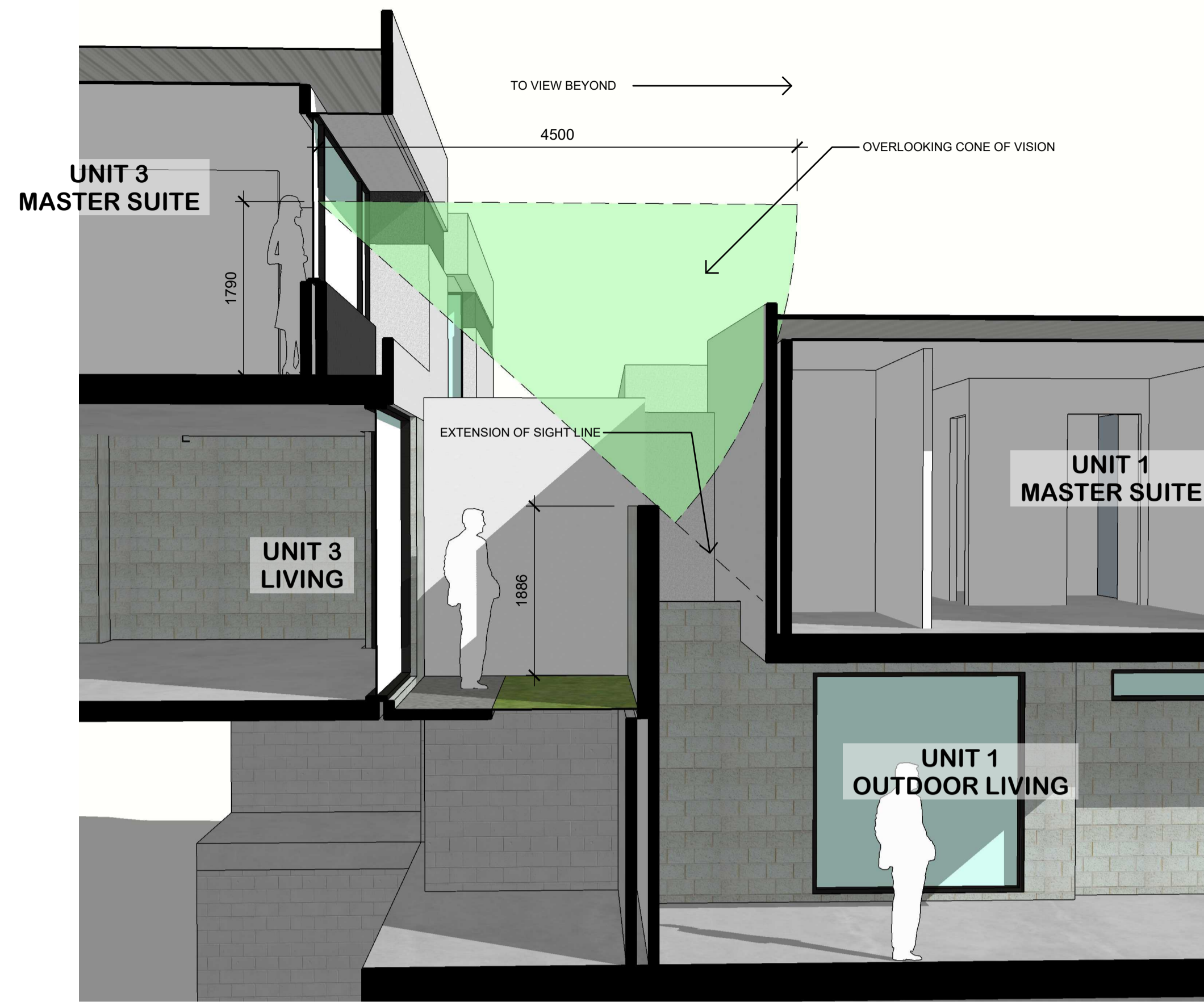
PROJECT: PROPOSED SIX GROUP DWELLINGS
 AT LOT 53 (H9#30) SACKVILLE TERRACE,
 SCARBOROUGH
 CITY OF STIRLING

PROJECT No.	DATE	REV.
21-327	OCT. 2022.	H5

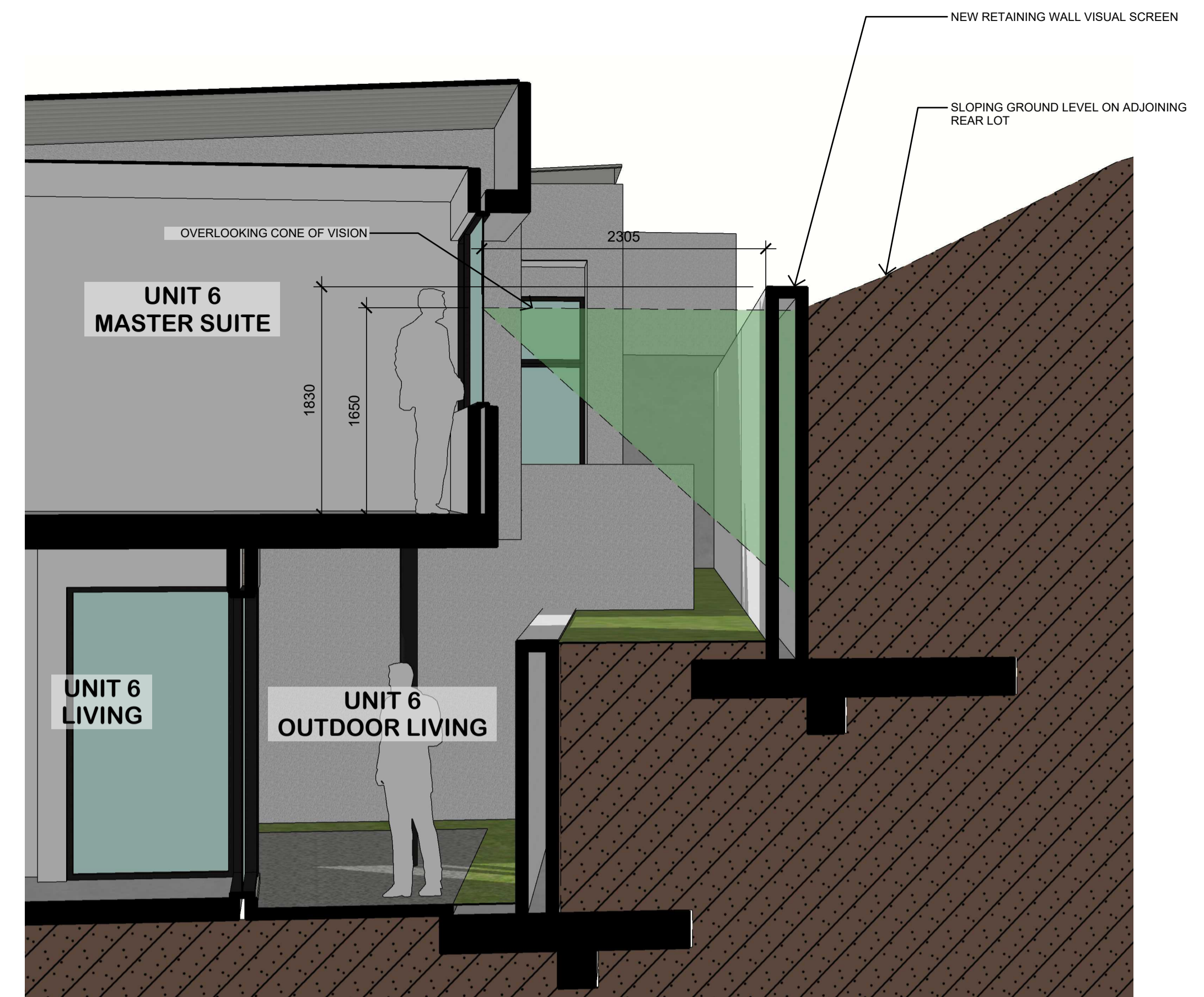
DRAWN: J. BROOKS DWG. No. 13-14

NOTE: THESE PLANS ARE DRAWN USING THE PLANS AND DETAILS SUPPLIED TO FINE LINES DRAFTING.

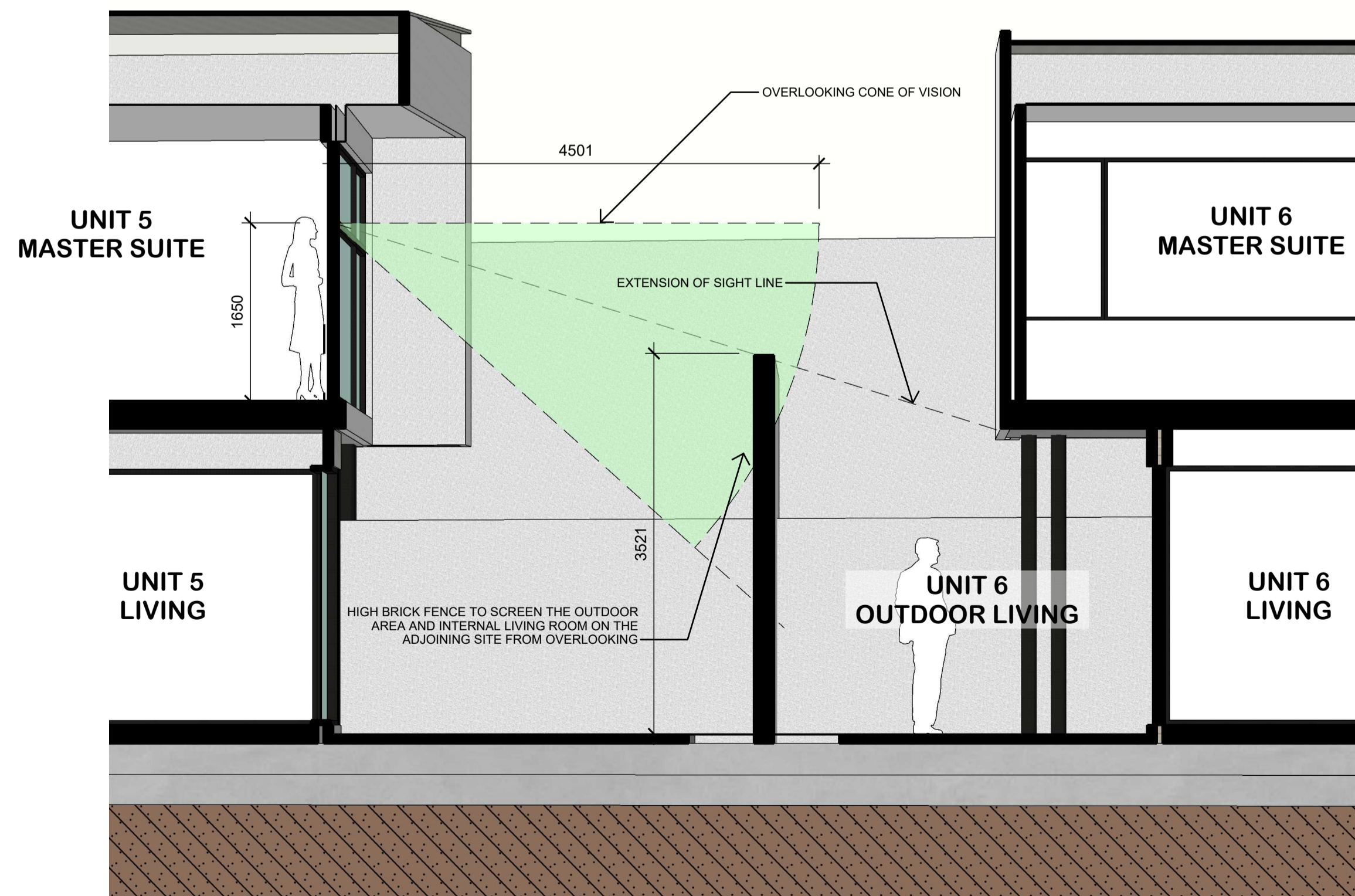
1. CHECK ALL DIMENSIONS ON SITE PRIOR TO SETTING OUT AND
 2. DIMENSIONS AND WORK SHALL BE TO THE FACE UNLESS OTHERWISE STATED.
 3. IF THE DIMENSIONS AND LEVELS DO NOT MATCH WITH ALL STATUTORY AUTHORITY REGULATIONS WHICH IN THE EVENT OF ANY DISCREPANCY SHALL TAKE PRECEDENCE OVER THESE DIMENSIONS.
 4. ALL WORK TO BE IN ACCORDANCE WITH THE B.C.A. CODES AND THE NEW ZEALAND STANDARDS.
 5. ALL WORK TO BE DONE IN ACCORDANCE WITH THE ENGINEERS DRAWINGS AND THE FINAL SPECIFICATION.
 6. ALL WORK SHALL BE TO THE FACE UNLESS OTHERWISE STATED.
 7. THESE DRAWINGS ARE PRELIMINARY AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ACCURACIES OR ERRORS FROM THE SURFACE OF DRAWING.



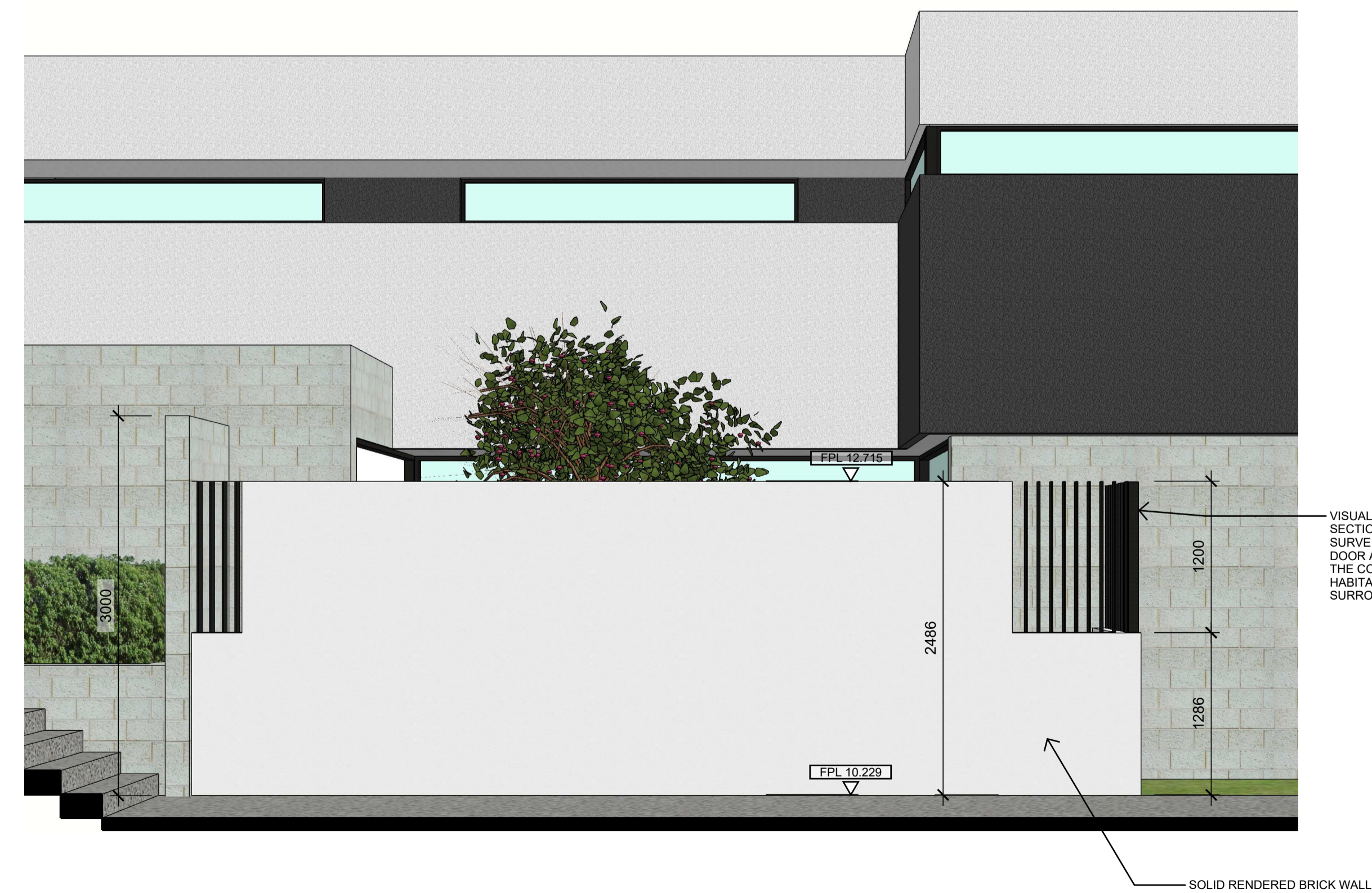
13 OVERLOOKING UNIT 3 TO UNIT 1
 A12 SCALE: Perspective



14 OVERLOOKING UNIT 6
 A13 SCALE: Perspective



15 OVERLOOKING UNIT 5 TO UNIT 6
 A14 SCALE: Perspective



16 UNIT 4 COURTYARD WALL DETAIL
 A15 SCALE: Perspective

PRELIMINARY DESIGN DRAWINGS ISSUED FOR REVIEW

DRAWING TITLE
OVERLOOKING DETAILS

SCALE
1 : 100

PAGE SIZE
A1

CLIENT
GRIFFIN GROUP

PROJECT
 PROPOSED SIX GROUP DWELLINGS AT LOT 53 (H5#30) SACKVILLE TERRACE, SCARBOROUGH CITY OF STIRLING

PROJECT No. 21-327 DATE OCT. 2022 REV. **H5**

DRAWN J. BROOKS DWG. No. 14-14

NOTE: THESE PLANS ARE DRAWN USING THE PLANS AND DETAILS SUPPLIED TO FINE LINES DRAFTING.

1. CHECK ALL DIMENSIONS ON SITE PRIOR TO SETTING OUT AND COMMENCEMENT OF WORK. NOTIFY SOCIAL ENGINEERS IMMEDIATELY IN THE EVENT OF ANY DISCREPANCY OR ERROR. THE PROFESSIONAL ENGINEER'S SIGNATURE IS VALID FOR THE DESIGN AND NOT FOR THE CONSTRUCTION OF THE WORK.

2. ALL WORK TO BE IN ACCORDANCE WITH THE B.C.A. CODES AND THE NEW ZEALAND BUILDING REGULATIONS.

3. ALL WORK TO BE IN ACCORDANCE WITH THE ENGINEER'S SIGNATURE AND THE FINE LINES SPECIFICATION.

4. ALL WORK TO BE DONE IN ACCORDANCE WITH THE FINE LINES SPECIFICATION.

5. THESE DRAWINGS ARE PRELIMINARY AND NOT FOR CONSTRUCTION. ANY CHANGES TO BE MADE MUST BE APPROVED BY THE ARCHITECT AND THE ENGINEER. THE ARCHITECT AND ENGINEER SHALL BE RESPONSIBLE FOR ANY ACCURACIES OR ERRORS FROM THE SUPPLIER OF INFORMATION.

fine lines DRAFTING

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