

APARTMENT BUILDING

437 CAMBERWELL ROAD, CAMBERWELL

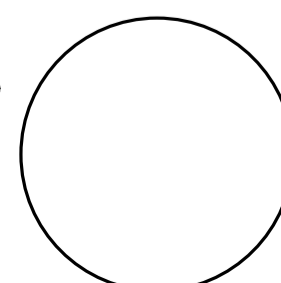
PRELIMINARY

SHEET NO.	SHEET NAME	#	SHEET NO.	SHEET NAME	#	SHEET NO.	SHEET NAME	#	SHEET NO.	SHEET NAME	#
01 General			04 Concrete Setout Plans			07 Sections			09 Construction Details		
A000	DRAWING REGISTER	P2	A201	BASEMENT LEVEL 1 CONCRETE SETOUT PLAN		A500	SECTION A-A	P3	A700	STAIR AND LIFT DETAIL PLANS	P2
A001	GENERAL NOTES	P2	A202	GROUND LEVEL CONCRETE SETOUT PLAN		A501	SECTION B-B	P3	A701	STAIR AND LIFT SECTION DETAILS	P2
A002	WALL TYPES SHEET	P2	A203	FIRST LEVEL CONCRETE SETOUT PLAN		08 Wet Areas / Apartment Plans			A800	SECTION DETAILS - SHEET 1	P1
02 Site			A204	SECOND LEVEL CONCRETE SETOUT PLAN		A600	KITCHEN DETAILS - SHEET 01	P1	A801	SECTION DETAILS - SHEET 2	P1
A010	SITE PLAN	P2	05 Reflected Ceiling Plans			A601	KITCHEN DETAILS - SHEET 02	P1	10 Schedules		
03 Floor Plans			A300	BASEMENT LEVEL REFLECTED CEILING PLAN	P6	A602	KITCHEN DETAILS - SHEET 03	P1	A900	WINDOW SCHEDULE SHEET 1	P2
A101	BASEMENT LEVEL FLOOR PLAN	P12	A301	GROUND LEVEL REFLECTED CEILING PLAN	P6	A603	BATHROOM DETAILS - SHEET 01	P1	A901	WINDOW SCHEDULE SHEET 2	P2
A102	GROUND LEVEL FLOOR PLAN	P20	A302	FIRST LEVEL REFLECTED CEILING PLAN	P6	A604	BATHROOM DETAILS - SHEET 02	P1	A902 WINDOW SCHEDULE SHEET 3 & DOOR SCHEDULE P2		
A103	FIRST LEVEL FLOOR PLAN	P18	A303	SECOND LEVEL REFLECTED CEILING PLAN	P5	A605	BATHROOM DETAILS - SHEET 03	P1			
A104	SECOND LEVEL FLOOR PLAN	P16	06 Elevations			A606	BATHROOM DETAILS - SHEET 04	P1			
A105	ROOF PLAN	P9	A400	ELEVATIONS 1	P5	A607	BATHROOM DETAILS - SHEET 05	P1			
			A401	ELEVATIONS 2	P5	A608	BATHROOM DETAILS - SHEET 06	P1			
						A609	TYPICAL WET AREA & JOINERY DETAILS	P1			
						A610	APARTMENT FLOOR PLANS - GROUND LEVEL				
						A611	APARTMENT FLOOR PLANS - FIRST LEVEL				
						A612	APARTMENT FLOOR PLANS - SECOND LEVEL				

REV	DESCRIPTION	DRN	CHK	DATE
P1	PRELIMINARY ISSUE	JP	AK	17.09.2020
P2	ISSUE FOR BUILDING PERMIT	AK / JP	AK	13.11.2020

pointarchitects

545 King Street West Melbourne 3003
 t : 93295988 f : 93294707
 e : info@pointarc.com.au



PRELIMINARY

ALL DIMENSIONS MUST BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF ANY WORK OR ESTABLISHMENTS OF ANY SHOP DRAWINGS. FIGURED DIMENSIONS MUST TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL SCALED DIMENSIONS MUST BE VERIFIED ON SITE. THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT.

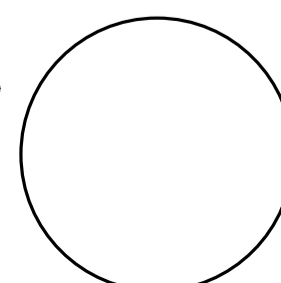
PROJECT	TITLE	DRAWN	SCALE	PLOT DATE	JOB No.
APARTMENT BUILDING 437 CAMBERWELL ROAD, CAMBERWELL	DRAWING REGISTER	AK / JP	@ A1	13/11/2020 14:43:29	1051
				DWG No	REVISION
				A000	P2

WALL TYPES		WALL TYPES		WALL TYPES		WALL TYPES	
1A	<p>INTERNAL</p> <p>WALL TYPE 1A</p> <ol style="list-style-type: none"> BORED PIER SHOTCRETE WALL <p>REFER TO STRUCTURAL ENGINEER'S DOCUMENTATION</p> <p>WALL SYSTEM KNAUF KSW320</p> <p>FRL = MIN. 120/120/120 RW = NA RW+CTR = NA</p>	2A	<p>APARTMENT</p> <p>WALL TYPE 2A</p> <ol style="list-style-type: none"> 1x 13mm FIRESHIELD PLASTERBOARD (MOISTURE RESISTANT PLASTERBOARD TO WET AREAS), PAINT FINISH 76mm LTCM STAGGERED STEEL STUDS @ 450mm CTRS ON 92mm TRACK 75mm EARTHWOOL INSULATION <p>REFER TO KNAUF K-SPEC MANUAL FROM THE 13.11.2020</p> <p>WALL SYSTEM KNAUF KSW320</p> <p>FRL = -/60/60 RW = 50 RW+CTR = 41</p> <p>NOTE: INCREASE AIR GAP OR PROVIDE PACKERS TO MATCH THICKNESS WITH ADJOINING WALLS</p>	3A	<p>INTERNAL</p> <p>WALL TYPE 3A</p> <ol style="list-style-type: none"> 1x 16mm FIRESHIELD PLASTERBOARD (MOISTURE RESISTANT PLASTERBOARD TO WET AREAS), PAINT FINISH 92mm LTCM STEEL STUDS @ 450mm CTRS 90mm R2.5 EARTHWOOL HD INSULATION NON-COMBUSTIBLE BREATHABLE WRAP NON-COMBUSTIBLE BATTENS 15mm REFLECTIVE AIR GAP 50mm NASAH SUPER 50 AAC PANEL INSTALLED AS PER MANUFACTURER'S DOCUMENTATION RENDER, PAINT FINISH (REFER TO ELEVATIONS FOR COLOUR & LOCATION) <p>REFER TO KNAUF K-SPEC MANUAL FROM THE 13.11.2020 AND NASAH INSTALLATION GUIDE</p> <p>WALL SYSTEM NASAH SYSTEM AS PER EWFA CERTIFICATE NO. SFC 38259000.4 FRL = MIN. 60/60/60</p> <p>NOTE: INCREASE AIR GAP OR PROVIDE PACKERS TO MATCH THICKNESS WITH ADJOINING WALLS</p>	4A	<p>INTERNAL</p> <p>WALL TYPE 4A</p> <ol style="list-style-type: none"> 1x 13mm PLASTERBOARD (MOISTURE RESISTANT PLASTERBOARD TO WET AREAS), PAINT FINISH 92mm LTCM STEEL STUDS @ 450mm CTRS <p>WALL SYSTEM KNAUF KSW15</p> <p>FRL = NA RW = 35 RW+CTR = 27</p> <p>NOTE: INCREASE AIR GAP OR PROVIDE PACKERS TO MATCH THICKNESS WITH ADJOINING STRUCTURAL WALLS</p>
1B	<p>STAIR/ LIFT/ BASEMENT WALLS</p> <p>WALL TYPE 1B</p> <ol style="list-style-type: none"> AFS LOGICWALL ALLOW FOR PAINT FINISH TO EXPOSED SIDE(S) <p>REFER TO STRUCTURAL ENGINEER'S DOCUMENTATION</p> <p>WALL SYSTEM KNAUF KSW320</p> <p>FRL = MIN. 120/120/120 RW = NA RW+CTR = NA</p>	2B	<p>APARTMENT</p> <p>WALL TYPE 2B</p> <ol style="list-style-type: none"> 2x 13mm FIRESHIELD PLASTERBOARD (MOISTURE RESISTANT PLASTERBOARD TO WET AREAS), PAINT FINISH 92mm LTCM STAGGERED STEEL STUDS @ 450mm CTRS ON 150mm TRACK 50mm EARTHWOOL INSULATION <p>REFER TO KNAUF K-SPEC MANUAL FROM THE 13.11.2020</p> <p>WALL SYSTEM KNAUF KSW322</p> <p>FRL = -/60/60 RW = 58 RW+CTR = 52</p> <p>NOTE: INCREASE AIR GAP OR PROVIDE PACKERS TO MATCH THICKNESS WITH ADJOINING WALLS</p>	3B	<p>INTERNAL</p> <p>WALL TYPE 3B</p> <ol style="list-style-type: none"> 1x 16mm FIRESHIELD PLASTERBOARD (MOISTURE RESISTANT PLASTERBOARD TO WET AREAS), PAINT FINISH 92mm LTCM STEEL STUDS @ 450mm CTRS 90mm R2.5 EARTHWOOL HD INSULATION 1x 16mm MULTISHIELD PLASTERBOARD NON-COMBUSTIBLE BREATHABLE WRAP NON-COMBUSTIBLE BATTENS 15mm REFLECTIVE AIR GAP LYSAGHT 25mm STANDING SEAM COLORBOND STEEL (REFER TO ELEVATIONS FOR COLOUR & LOCATION) <p>REFER TO KNAUF K-SPEC MANUAL FROM THE 13.11.2020</p> <p>WALL SYSTEM KNAUF KSW476</p> <p>FRL = MIN. 60/60/60 RW = 47 RW+CTR = 39</p> <p>NOTE: INCREASE AIR GAP OR PROVIDE PACKERS TO MATCH THICKNESS WITH ADJOINING WALLS</p>	<p>GENERAL NOTES</p> <ol style="list-style-type: none"> ALL PENETRATIONS THROUGH FIRE ISOLATED WALLS AND CEILINGS ARE TO BE PROTECTED VIA APPROVED FIRE COLLARS, FIRE DAMPENERS AND FIRE RATED PUTTY. DRAWING IS TO BE READ IN CONJUNCTION WITH RELEVANT ACOUSTIC REPORT DRAWING IS TO BE READ IN CONJUNCTION WITH RELEVANT ESD REPORT DRAWING IS TO BE READ IN CONJUNCTION WITH RELEVANT FIRE ENGINEERS REPORT DRAWING IS TO BE READ IN CONJUNCTION WITH STRUCTURAL ENGINEER'S DOCUMENTATION, IN PARTICULAR IN REGARDS TO WALL CONSTRUCTION AND BRACING LOCATIONS DRAWING IS TO BE READ IN CONJUNCTION WITH ARCHITECTURAL SECTIONS, DETAILS, RCP'S & WET AREA DRAWINGS. ARCHITECT TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES ALL WALL LININGS TO WET AREAS TO BE MOISTURE RESISTANT. LAG ALL SERVICES IN BULKHEADS AND CEILING SPACES ENSURE LAGGING IS OVERLAPPED 50mm AND TAPPED AIRTIGHT WITH ALUMINIUM TAPE. WHERE SERVICES PENETRATE THE FLOOR STRUCTURE PROVIDE FIRE RATED COLLARS ALL WALL INSULATION TO FIRE RATED WALLS TO BE NON-COMBUSTIBLE BASEMENT CEILING TO HAVE INSULATION AS PER ESD REPORT EXTERNAL WALLS TO HAVE INSULATION AS ESD REPORT. SEAL GAPS, CRACKS AND EXHAUST FANS. WEATHER STRIP WINDOWS AND EXTERNAL ENTRY DOORS. WINDOWS TO BE ALUMINIUM FRAMED 	
1C	<p>STAIR/ LIFT</p> <p>WALL TYPE 1C</p> <ol style="list-style-type: none"> AFS LOGICWALL, PAINT FINISH IF EXPOSED 30mm FURRING CHANNELS ON CLIPS @ 600mm CTRS 1x 13mm PLASTERBOARD, PAINT FINISH <p>REFER TO KNAUF K-SPEC MANUAL FROM THE 13.11.2020 AND STRUCTURAL ENGINEER'S DOCUMENTATION</p> <p>WALL SYSTEM KNAUF KMW15-8RC125</p> <p>FRL = MIN. 120/120/120 RW = NA RW+CTR = NA</p> <p>NOTE: INCREASE AIR GAP OR PROVIDE PACKERS TO MATCH THICKNESS WITH ADJOINING WALLS</p>	2C	<p>APARTMENT</p> <p>WALL TYPE 2C</p> <ol style="list-style-type: none"> 1x 16mm FIRESHIELD PLASTERBOARD (MOISTURE RESISTANT PLASTERBOARD TO WET AREAS), PAINT FINISH 92mm LTCM STEEL STUDS @ 450mm CTRS 75mm EARTHWOOL INSULATION MINIMUM 20mm CAVITY <p>REFER TO KNAUF K-SPEC MANUAL FROM THE 13.11.2020</p> <p>WALL SYSTEM KNAUF KSW335</p> <p>FRL = -/60/60 RW = 61 RW+CTR = 51 DISCONTINUOUS</p> <p>NOTE: INCREASE AIR GAP OR PROVIDE PACKERS TO MATCH THICKNESS WITH ADJOINING WALLS</p>	3C	<p>INTERNAL</p> <p>WALL TYPE 3C</p> <ol style="list-style-type: none"> 1x 16mm FIRESHIELD PLASTERBOARD (MOISTURE RESISTANT PLASTERBOARD TO WET AREAS), PAINT FINISH 92mm LTCM STEEL STUDS @ 450mm CTRS 90mm R2.5 EARTHWOOL HD INSULATION NON-COMBUSTIBLE BREATHABLE WRAP 50mm REFLECTIVE AIR GAP 110mm FACE BRICKWORK (REFER TO ELEVATIONS FOR COLOUR & LOCATION) <p>WALL SYSTEM KNAUF</p> <p>FRL = MIN. 60/60/60 RW = 67 RW+CTR = 58</p> <p>NOTE: INCREASE AIR GAP OR PROVIDE PACKERS TO MATCH THICKNESS WITH ADJOINING WALLS</p>	<p>GENERAL INSULATION NOTES</p> <p>INSULATION TO BE INSTALLED IN ACCORDANCE WITH PART J1.2 AS FOLLOWS:</p> <ol style="list-style-type: none"> INSULATION TO COMPLY WITH AS/NZS 4859.1 INSULATION TO BE INSTALLED SO THAT IT GENERALLY ABUTS OR OVERLAPS ADJOINING INSULATION AND FORMS A CONTINUOUS BARRIER WITH CEILING, WALLS, BULKHEADS, FLOORS OR THE LIKE THAT INHERENTLY CONTRIBUTE TO THE THERMAL BARRIER SARKING TO BE INSTALLED WITH THE NECESSARY AIRSPACE TO ACHIEVE THE REQUIRED R-VALUE BETWEEN A REFLECTIVE SIDE AND BUILDING LINING/ CLADDING. SARKING TO BE CLOSELY FITTED AGAINST PENETRATIONS, DOORS, WINDOWS AND OPENINGS. SARKING TO BE ADEQUATELY SUPPORTED BY FRAMING MEMBERS, AND EACH ADJOINING SHEET OF ROLL MEMBRANE IS TO BE OVERLAPPED NOT LESS THAN 150mm OR TAPED TOGETHER. BULK INSULATION TO BE INSTALLED SO THAT IT MAINTAINS ITS POSITION AND THICKNESS, OTHER THAN WHERE IT CROSSES ROOF BATTENS, WATER PIPES, ELECTRICAL CABLING OR THE LIKE. <p>CONTRACTOR TO ENSURE ROOFS, CEILINGS, WALLS, FLOORS AND ANY OPENINGS MUST BE CONSTRUCTED TO MINIMIZE AIR LEAKAGE WHEN FORMING PART OF THE ENVELOPE.</p>	
1D	<p>STAIR / LIFT</p> <p>WALL TYPE 1D</p> <ol style="list-style-type: none"> AFS LOGICWALL, PAINT FINISH IF EXPOSED 20mm CAVITY 64mm LTCM STEEL STUDS @ 450mm CTRS 75mm EARTHWOOL INSULATION 1x 13mm PLASTERBOARD (MOISTURE RESISTANT PLASTERBOARD TO WET AREAS), PAINT FINISH <p>REFER TO KNAUF K-SPEC MANUAL FROM THE 13.11.2020 AND STRUCTURAL ENGINEER'S DOCUMENTATION</p> <p>WALL SYSTEM KNAUF NCC18-7RC125</p> <p>FRL = MIN. 120/120/120 RW = 50 RW+CTR = 50 DISCONTINUOUS</p> <p>NOTE: INCREASE AIR GAP OR PROVIDE PACKERS TO MATCH THICKNESS WITH ADJOINING WALLS</p>	2D	<p>CORRIDOR / SERVICES CUPBOARD</p> <p>WALL TYPE 2D</p> <ol style="list-style-type: none"> 1x 16mm FIRESTOP PLASTERBOARD 64mm LTCM STEEL STUDS @ 450mm CTRS <p>REFER TO KNAUF K-SPEC MANUAL FROM THE 13.11.2020</p> <p>WALL SYSTEM KNAUF KSW315</p> <p>FRL = -/4/ RW = NA RW+CTR = NA</p> <p>NOTE: INCREASE AIR GAP OR PROVIDE PACKERS TO MATCH THICKNESS WITH ADJOINING WALLS</p>	3D	<p>EXTERNAL</p> <p>WALL TYPE 3D</p> <ol style="list-style-type: none"> 110mm OR 230mm FACE BRICKWORK (REFER TO ELEVATIONS FOR COLOUR & LOCATION) <p>WALL SYSTEM KNAUF</p> <p>FRL = -/4/ RW = NA RW+CTR = NA</p> <p>NOTE: INCREASE AIR GAP OR PROVIDE PACKERS TO MATCH THICKNESS WITH ADJOINING WALLS</p>	<p>GENERAL INSULATION NOTES</p> <p>INSULATION TO BE INSTALLED IN ACCORDANCE WITH PART J1.2 AS FOLLOWS:</p> <ol style="list-style-type: none"> INSULATION TO COMPLY WITH AS/NZS 4859.1 INSULATION TO BE INSTALLED SO THAT IT GENERALLY ABUTS OR OVERLAPS ADJOINING INSULATION AND FORMS A CONTINUOUS BARRIER WITH CEILING, WALLS, BULKHEADS, FLOORS OR THE LIKE THAT INHERENTLY CONTRIBUTE TO THE THERMAL BARRIER SARKING TO BE INSTALLED WITH THE NECESSARY AIRSPACE TO ACHIEVE THE REQUIRED R-VALUE BETWEEN A REFLECTIVE SIDE AND BUILDING LINING/ CLADDING. SARKING TO BE CLOSELY FITTED AGAINST PENETRATIONS, DOORS, WINDOWS AND OPENINGS. SARKING TO BE ADEQUATELY SUPPORTED BY FRAMING MEMBERS, AND EACH ADJOINING SHEET OF ROLL MEMBRANE IS TO BE OVERLAPPED NOT LESS THAN 150mm OR TAPED TOGETHER. BULK INSULATION TO BE INSTALLED SO THAT IT MAINTAINS ITS POSITION AND THICKNESS, OTHER THAN WHERE IT CROSSES ROOF BATTENS, WATER PIPES, ELECTRICAL CABLING OR THE LIKE. <p>CONTRACTOR TO ENSURE ROOFS, CEILINGS, WALLS, FLOORS AND ANY OPENINGS MUST BE CONSTRUCTED TO MINIMIZE AIR LEAKAGE WHEN FORMING PART OF THE ENVELOPE.</p>	
1E	<p>APARTMENT</p> <p>WALL TYPE 1E</p> <ol style="list-style-type: none"> 1x 13mm PLASTERBOARD, ADHESIVE FIXED TO STRUCTURE, PAINT FINISH CONCRETE PANEL 50mm FURRING CHANNELS ON CLIPS @ 600mm CTRS 50mm EARTHWOOL INSULATION 1x 13mm PLASTERBOARD (MOISTURE RESISTANT PLASTERBOARD TO WET AREAS), PAINT FINISH <p>REFER TO KNAUF K-SPEC MANUAL FROM THE 13.11.2020 AND STRUCTURAL ENGINEER'S DOCUMENTATION</p> <p>WALL SYSTEM KNAUF</p> <p>FRL = MIN. 120/120/120 RW = 60 RW+CTR = 50</p> <p>NOTE: INCREASE AIR GAP OR PROVIDE PACKERS TO MATCH THICKNESS WITH ADJOINING WALLS</p>						
1F	<p>STAIR</p> <p>WALL TYPE 1F</p> <ol style="list-style-type: none"> AFS LOGICWALL, PAINT FINISH IF EXPOSED NON-COMBUSTIBLE BREATHABLE SARKING NON-COMBUSTIBLE BATTENS 15mm REFLECTIVE AIR GAP 50mm NASAH SUPER 50 AAC PANEL INSTALLED AS PER MANUFACTURER'S DOCUMENTATION RENDER, PAINT FINISH (REFER TO ELEVATIONS FOR COLOUR & LOCATION) <p>REFER TO NASAH INSTALLATION GUIDE AND STRUCTURAL ENGINEER'S DOCUMENTATION</p> <p>WALL SYSTEM NASAH SYSTEM AS PER EWFA CERTIFICATE NO. SFC 38259000.4</p> <p>FRL = MIN. 120/120/120</p> <p>NOTE: INCREASE AIR GAP OR PROVIDE PACKERS TO MATCH THICKNESS WITH ADJOINING WALLS</p>						

REV	DESCRIPTION	DRN	CHK	DATE
P1	PRELIMINARY ISSUE	JP	AK	17.09.2020
P2	ISSUE FOR BUILDING PERMIT	AK / JP	AK	13.11.2020

point architects

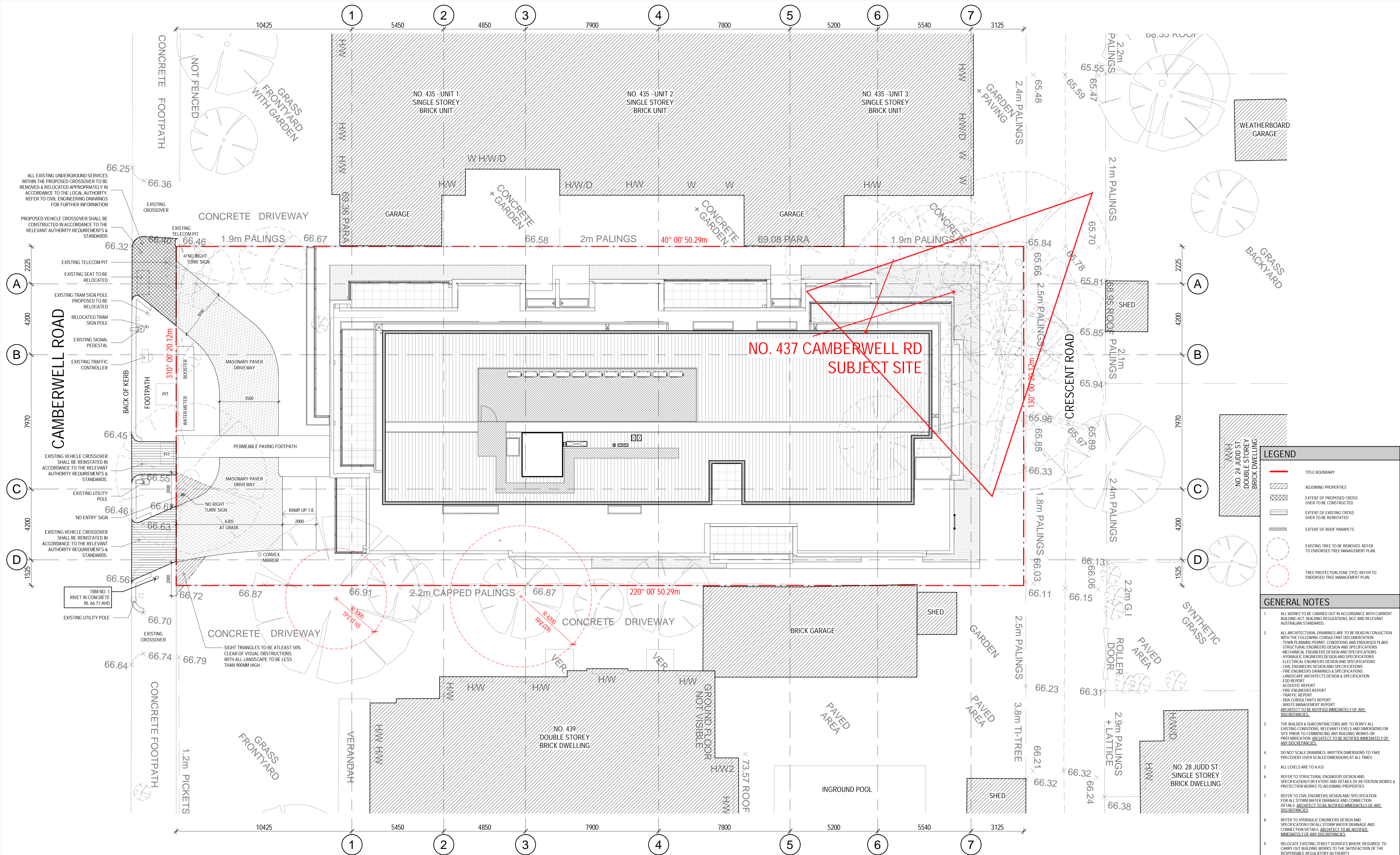
545 King Street West Melbourne 3003
t : 93295988 f : 93294707
e : info@pointarc.com.au



PRELIMINARY

ALL DIMENSIONS MUST BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF ANY WORK OR ESTABLISHMENTS OF ANY SHOP DRAWINGS. FIGURED DIMENSIONS MUST TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL SCALED DIMENSIONS MUST BE VERIFIED ON SITE. THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT.

PROJECT	TITLE	DRAWN	SCALE	PLOT DATE	JOB No.
APARTMENT BUILDING 437 CAMBERWELL ROAD, CAMBERWELL	WALL TYPES SHEET	AK / JP	1 : 10 @ A1	13/11/2020 15:15:45	1051
				DWG No A002	REVISION P2



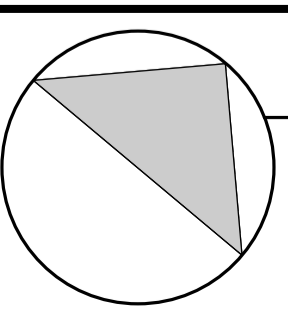
LEGEND	
	TITLE BOUNDARY
	ADJOINING PROPERTIES
	EXTENT OF PROPOSED CROSS OVER TO BE CONSTRUCTED
	EXTENT OF EXISTING CROSS OVER TO BE REINSTATED
	EXTENT OF ROOF PARAPETS
	EXISTING TREE TO BE REMOVED. REFER TO ENDORSED TREE MANAGEMENT PLAN.
	TREE PROTECTION ZONE (TPZ). REFER TO ENDORSED TREE MANAGEMENT PLAN.

- GENERAL NOTES**
- ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH CURRENT BUILDING ACT, BUILDING REGULATIONS, NCC AND RELEVANT AUSTRALIAN STANDARDS.
 - ALL ARCHITECTURAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE FOLLOWING CONSULTANT DOCUMENTATION:
 - TOWN PLANNING PERMIT, CONDITIONS AND ENDORSED PLANS
 - STRUCTURAL ENGINEERS DESIGN AND SPECIFICATIONS
 - MECHANICAL ENGINEERS DESIGN AND SPECIFICATIONS
 - HYDRAULIC ENGINEERS DESIGN AND SPECIFICATIONS
 - ELECTRICAL ENGINEERS DESIGN AND SPECIFICATIONS
 - CIVIL ENGINEERS DESIGN AND SPECIFICATIONS
 - FIRE ENGINEERS DESIGN AND SPECIFICATIONS
 - LANDSCAPE ARCHITECTS DESIGN AND SPECIFICATION
 - ESD REPORT
 - ACOUSTIC REPORT
 - FIRE ENGINEERS REPORT
 - TRAFFIC REPORT
 - DDA CONSULTANTS REPORT
 - WASTE MANAGEMENT REPORT
 - ARCHITECT TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.
 - THE BUILDER & SUBCONTRACTORS ARE TO VERIFY ALL EXISTING CONDITIONS, RELEVANT LEVELS AND DIMENSIONS ON SITE PRIOR TO COMMENCING ANY BUILDING WORKS OR PREFABRICATION. ARCHITECT TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.
 - DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALED DIMENSIONS AT ALL TIMES.
 - ALL LEVELS ARE TO AHD
 - REFER TO STRUCTURAL ENGINEERS DESIGN AND SPECIFICATIONS FOR EXTENT AND DETAILS OF RETENTION WORKS & PROTECTION WORKS TO ADJOINING PROPERTIES.
 - REFER TO CIVIL ENGINEERS DESIGN AND SPECIFICATION FOR ALL STORM WATER DRAINAGE AND CONNECTION DETAILS. ARCHITECT TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.
 - REFER TO HYDRAULIC ENGINEERS DESIGN AND SPECIFICATION FOR ALL STORM WATER DRAINAGE AND CONNECTION DETAILS. ARCHITECT TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.
 - RELOCATE EXISTING STREET SERVICES WHERE REQUIRED TO CARRY OUT BUILDING WORKS TO THE SATISFACTION OF THE RESPONSIBLE REGULATORY AUTHORITY.
 - DEMOLISH EXISTING CROSSINGS, FOOTPATH, KERB & CHANNEL WHERE REQUIRED AND MAKE GOOD. ALL ADJOINING SERVICES IN PREPARATION FOR NEW WORKS. ALLOW FOR THE RECONSTRUCTION AND REGRADING OF FOOTPATHS AND THE RECONSTRUCTION OF NEW CROSSINGS, KERB & CHANNELS TO THE SATISFACTION OF THE RESPONSIBLE REGULATORY AUTHORITY.
 - FOR ALL LANDSCAPING WORKS REFER TO LANDSCAPE ARCHITECTS DESIGN AND SPECIFICATIONS.

01 SITE PLAN
A010 SCALE 1 : 100

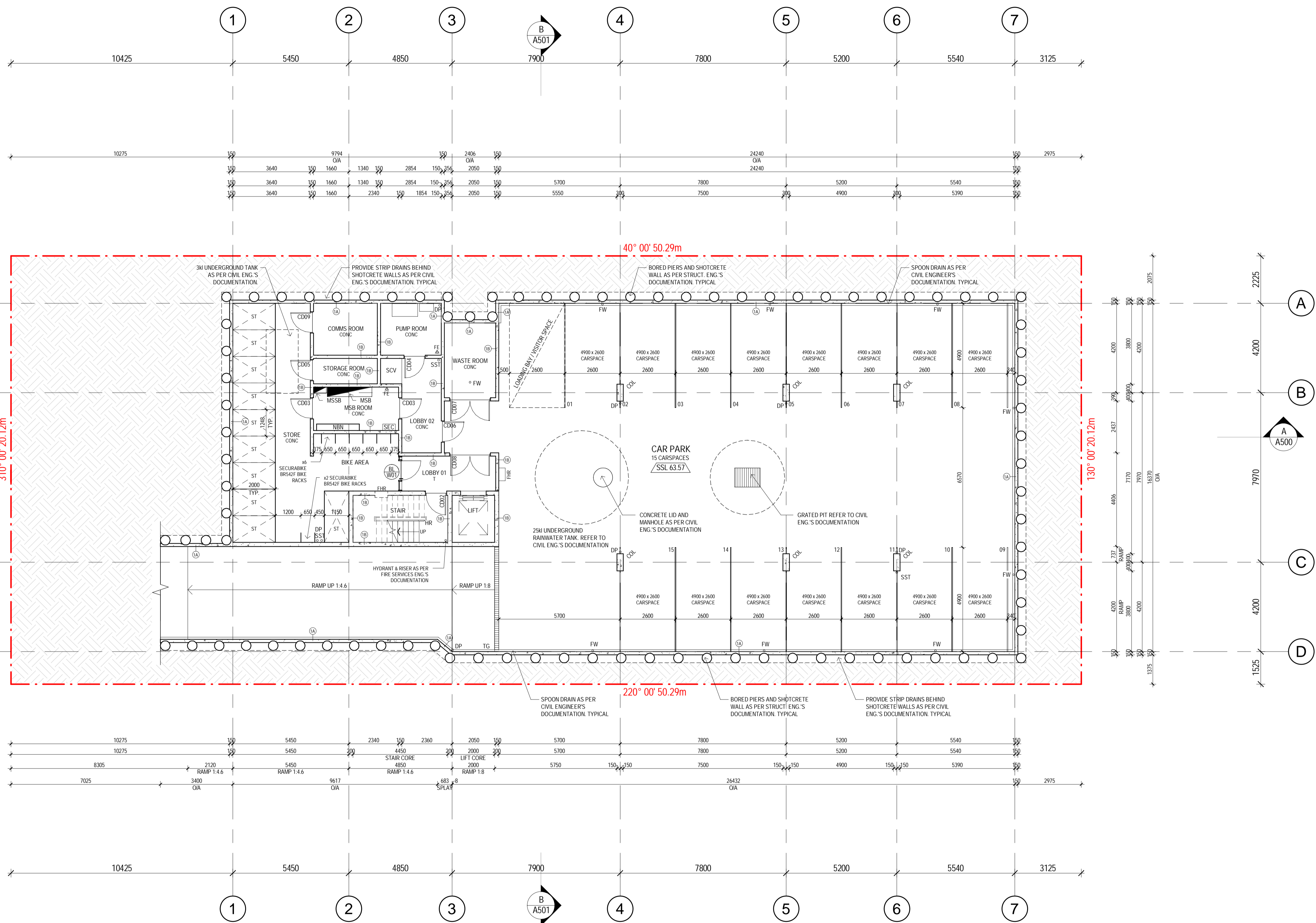
REV	DESCRIPTION	DRN	CHK	DATE
P1	PRELIMINARY ISSUE	JP	AK	17.09.2020
P2	ISSUE FOR BUILDING PERMIT	AK / JP	AK	13.11.2020

pointarchitects
545 King Street West Melbourne 3003
t : 93295988 f : 93294707
e : info@pointarc.com.au



PRELIMINARY
ALL DIMENSIONS MUST BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF ANY WORK OR ESTABLISHMENTS OF ANY SHOP DRAWINGS. FIGURED DIMENSIONS MUST TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL SCALED DIMENSIONS MUST BE VERIFIED ON SITE. THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT.

PROJECT	TITLE	DRAWN	SCALE	PLOT DATE	JOB No.
APARTMENT BUILDING 437 CAMBERWELL ROAD, CAMBERWELL	SITE PLAN	JP	1 : 100 @ A1	13/11/2020 14:43:35	1051
			DWG No	REVISION	
			A010	P2	



LEGEND

LEGEND ABBREVIATIONS

AC	CONDENSOR UNIT
BALC	BALCONY
BED 1	BEDROOM 1
BED 2	BEDROOM 2
BED 3	BEDROOM 3
BATH	BATHROOM
COL	STRUCTURAL COLUMN
DB	DISTRIBUTION BOARD
DP	DOWN PIPE
ENS	ENSUITE
FE	PORTABLE FIRE EXTINGUISHER
FH	FIRE HYDRANT
FHR	FIRE HOSE REEL
FW	FLOOR WASTE
HALL	HALLWAY
HR	HANDRAIL
KITCH	KITCHEN
LDRY	LAUNDRY
LIV/DRN	LIVING/DINING
SCR1	LOCKER GROUP P.C. PERF PERFORATED METAL SCREEN BALUSTRADE WITH HANDRAIL. 100MM GROUP SYSTEM. REFER TO ELEVATIONS.
SCR2	LOCKER GROUP P.C. PERF PERFORATED METAL PRIVACY SCREEN ANXIM GROUP SYSTEM. REFER TO ELEVATIONS.
SCR3	LOCKER GROUP P.C. PERF METAL FEATURE PANNELLING. REFER TO ELEVATIONS.
SSL	STRUCTURAL SURFACE LEVEL
SST	SEWER STACK
ST	STORAGE CAGE
WR	WALK IN ROBE
WP	WALK IN PANTRY

LEGEND FLOOR FINISHES

BP1	BALCONY PAVEN - TYPE 01
BP2	BALCONY PAVEN - TYPE 02
CA	CARPET
CONC	CONCRETE (SEALED ACCORDINGLY)
T	TILES
TM	TIMBER FLOOR COVERING

LEGEND ROOF DRAINAGE

BG	BOX GUTTER
DP	DOWN PIPE
MRS	METAL ROOF SHEETING
RWH	RAIN WATER HEAD
SPR	SPREADER
SU	SUMP

NOTES:
 METAL ROOF SHEETING TO BE LYSAGHT KLIP-LOK 700 H-STRENGTH INSTALLED GENERALLY AT 3° ROOF SLOPE AND IN ACCORDANCE TO MANUFACTURER'S DOCUMENTATION.
 METAL ROOF SHEETING, FLASHINGS AND ROOF DRAINAGE TO BE COLORBOND FINISH. REFER TO EXTERNAL FINISHES SCHEDULE FOR COLOUR.

REFERENCE

- 1 Ref DENOTES CROSS SECTIONS / ELEVATIONS
- (A) WALL TAGS (REFER TO WALL TYPE SCHEDULE)
- D00 DOOR NUMBERING (REFER TO DOOR SCHEDULE)
- CL W01 WINDOW NUMBERING (REFER TO WINDOW SCHEDULE)

GENERAL NOTES

ALL ARCHITECTURAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH STRUCTURAL, MECHANICAL, HYDRAULIC, ELECTRICAL AND CIVIL CONSULTANTS DRAWINGS, ESD REPORT, SECTION 2 REPORT AND HOUSE ENERGY RATING REPORT. ARCHITECT'S DRAWINGS TO TAKE PRECEDENCE ARCHITECT TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.
 ALL ARCHITECTURAL DRAWINGS TO BE READ IN CONJUNCTION WITH FINISHES & FITTINGS SCHEDULE.
 REFER TO LANDSCAPE ARCHITECTS DETAILS FOR ALL LANDSCAPING WORKS.
 FOR ALL ACOUSTIC AND FIRE REQUIREMENTS, DRAWINGS ARE TO BE READ IN CONJUNCTION WITH RELEVANT ACOUSTIC AND FIRE REPORTS.
 ALL PIPES AND DOWNPIPES LOCATIONS AND SIZES TO BE READ IN CONJUNCTION WITH CONSULTANTS DRAWINGS.
 ALL PENETRATIONS THROUGH FIRE RATED WALLS, FLOORS AND CEILINGS ARE TO MAINTAIN REQUIRED FIRE RATING.
 PROVIDE R4.0 ROOF INSULATION TO ALL ROOFING AREAS.
 REFER TO FUTURE INTERIORS PACKAGE FOR ALL ENTRY LOBBY AND COMMON AREA DETAILS. ALL COMMON AREA STAIRS, HANDRAILS AND BALUSTRADES TO COMPLY WITH AS 1428:2009.
 WHERE STEEL STRUCTURAL BEAMS ARE LOCATED TO THE UNDERSIDE OF A WET AREA SETDOWN OR PENETRATIONS, ENSURE THAT BEAM IS OFFSET AND LOCATED IN A WAY TO AVOID PENETRATIONS AND ALLOW FOR SETDOWN.
 PROVIDE ROOF ANCHOR POINTS TO COMPLY WITH AS 1891.4 BULDER TO PROVIDE ADEQUATE SAFETY PROVISIONS TO AUSTRALIAN STANDARDS REGARDING MAINTENANCE PERSON ACCESS TO ROOF.
 ROOF PLAN TO BE READ IN CONJUNCTION WITH ARCHITECTURAL FLOOR PLANS. ALL CONSULTANTS DRAWINGS. ALL BOX GUTTERS, DOWNPIPES, FLASHINGS, CAPPINGS & SUMPS TO BE ZINCALUME. ROOF SHEETING TO BE COLORBOND. COLOUR AS SELECTED BY CLIENT PROVIDE APRON FLASHING WHERE SPECIFIED.
 LINES AND BRACKETS TO BE PROVIDED TO ROOF BY THE CONTRACTOR TO RELEVANT AUSTRALIAN STANDARDS.
 CONTRACTOR TO USE WITH THE STRUCTURAL ENGINEER TO ENSURE ADEQUATE STRUCTURAL SUPPORT AT FIXING POINTS.
 ALL SERVICES TO ROOF AREA EG. ROOF COILS, ROOF VENTS ETC. TO BE EITHER COLORBOND OR POWDERCOAT FINISH TO MATCH ROOFING FINISH.

01 BASEMENT LEVEL FLOOR PLAN
 A101 SCALE 1 : 100

REV	DESCRIPTION	DRN	CHK	DATE
P4	PRELIMINARY ISSUE	AK	AK	21.08.2020
P5	PRELIMINARY ISSUE	AK	AK	26.08.2020
P6	PRELIMINARY ISSUE	JP	AK	04.09.2020
P7	AMMENDED BASEMENT SMOKE LOBBY	JP	AK	08.09.2020
P8	PRELIMINARY ISSUE	JP	AK	08.09.2020
P9	PRELIMINARY ISSUE	JP	AK	17.09.2020
P10	PRELIMINARY ISSUE	JP	AK	12.10.2020
P11	PRELIMINARY ISSUE	JP	AK	04.11.2020
P12	ISSUE FOR BUILDING PERMIT	AK / JP	AK	13.11.2020

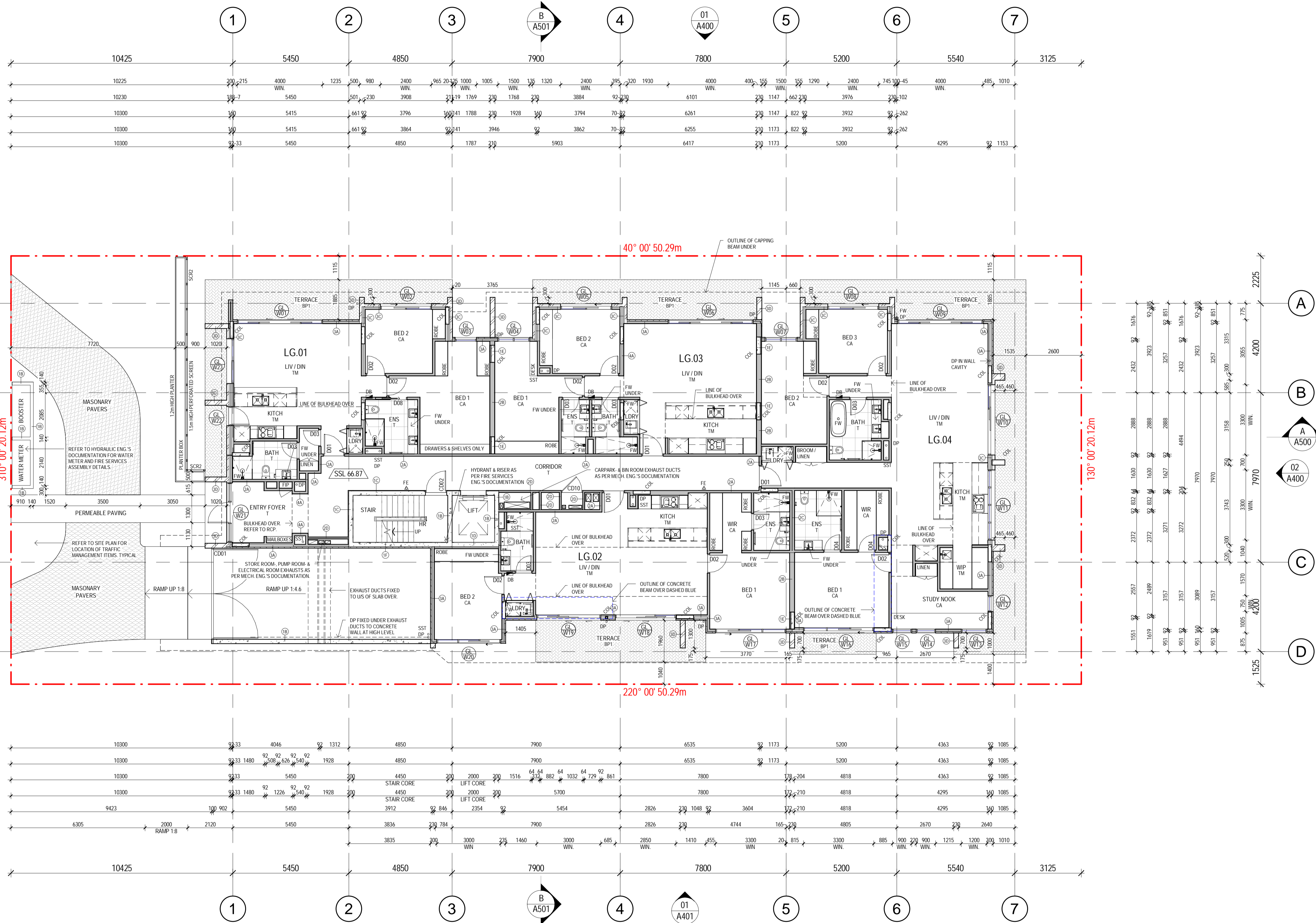
point architects
 545 King Street West Melbourne 3003
 t : 93295988 f : 93294707
 e : info@pointarc.com.au

PRELIMINARY
 ALL DIMENSIONS MUST BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF ANY WORK OR ESTABLISHMENTS OF ANY SHOP DRAWINGS. FIGURED DIMENSIONS MUST TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL SCALED DIMENSIONS MUST BE VERIFIED ON SITE. THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT.

PROJECT
**APARTMENT BUILDING
 437 CAMBERWELL ROAD,
 CAMBERWELL**

TITLE
**BASEMENT LEVEL
 FLOOR PLAN**

DRAWN SCALE PLOT DATE JOB No.
 AK / JP 1 : 100 13/11/2020 1051
 @ A1 14:43:38
 DWG No REVISION
A101 P12



01 GROUND LEVEL FLOOR PLAN
A102 SCALE 1:100

LEGEND

- LEGEND ABBREVIATIONS**
- AC CONDENSOR UNIT
 - BALC BALCONY
 - BED 1 BEDROOM 1
 - BED 2 BEDROOM 2
 - BED 3 BEDROOM 3
 - BATH BATHROOM
 - COL STRUCTURAL COLUMN
 - DB DISTRIBUTION BOARD
 - DP DOWN PIPE
 - ENS ENSUITE
 - FE PORTABLE FIRE EXTINGUISHER
 - FH FIRE HYDRANT
 - FHR FIRE HOSE REEL
 - FW FLOOR WASTE
 - FWR FLOOR WASTE
 - HALL HALLWAY
 - HR HANDRAIL
 - KITCH KITCHEN
 - LDRY LAUNDRY
 - LIV/DIN LIVING/DINING
 - SCR1 LOCKER GROUP PVC PERFORATED METAL SCREEN BALUSTRADE WITH HANDRAIL. ROOM GROUP SYSTEM. REFER TO ELEVATIONS.
 - SCR2 LOCKER GROUP PVC PERFORATED METAL PRIVACY SCREEN ANION GROUP SYSTEM. REFER TO ELEVATIONS.
 - SCR3 LOCKER GROUP PVC PERFORATED METAL FEATURE PANELING. REFER TO ELEVATIONS.
 - SSL STRUCTURAL SURFACE LEVEL
 - SST SEWER STACK
 - ST STORAGE CAGE
 - WR WALK IN ROBE
 - WIP WALK IN PANTRY

- LEGEND FLOOR FINISHES**
- BP1 BALCONY PAVER - TYPE 01
 - BP2 BALCONY PAVER - TYPE 02
 - CA CARPET
 - CONC CONCRETE (SEALED ACCORDINGLY)
 - T TILES
 - TM TIMBER FLOOR COVERING

- LEGEND ROOF DRAINAGE**
- BG BOX GUTTER
 - DP DOWN PIPE
 - MRS METAL ROOF SHEETING
 - RWH RAIN WATER HEAD
 - SPR SPREADER
 - SU SUMP

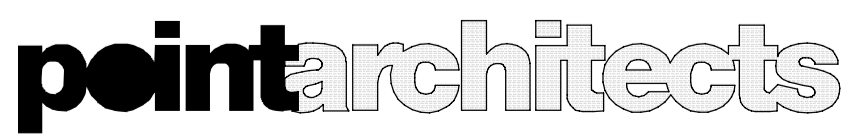
NOTES:
METAL ROOF SHEETING TO BE LYSAGHT KLIP-LOK 700HS-STRENGTH INSTALLED GENERALLY AT 3° ROOF SLOPE AND IN ACCORDANCE TO MANUFACTURER'S DOCUMENTATION.
METAL ROOF SHEETING, FLASHINGS AND ROOF DRAINAGE TO BE COLORBOND FINISH. REFER TO EXTERNAL FINISHES SCHEDULE FOR COLOUR.

- REFERENCE**
- 1 Ref DENOTES CROSS SECTIONS/ELEVATIONS
 - (A) WALL TAGS (REFER TO WALL TYPE SCHEDULE)
 - D00 DOOR NUMBERING (REFER TO DOOR SCHEDULE)
 - CL W01 WINDOW NUMBERING (REFER TO WINDOW SCHEDULE)

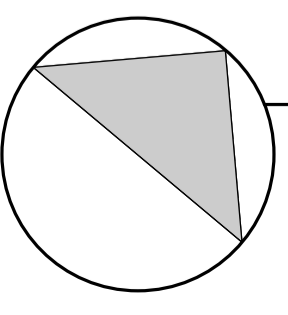
GENERAL NOTES

ALL ARCHITECTURAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH STRUCTURAL, MECHANICAL, HYDRAULIC, ELECTRICAL AND CIVIL CONSULTANTS DRAWINGS, ESD REPORT, SECTION 2 REPORT AND HOUSE ENERGY RATING REPORT. ARCHITECTS DRAWINGS TO TAKE PRECEDENCE ARCHITECT TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.
ALL ARCHITECTURAL DRAWINGS TO BE READ IN CONJUNCTION WITH FINISHES FITTINGS SCHEDULE.
REFER TO LANDSCAPE ARCHITECTS DETAILS FOR ALL LANDSCAPING WORKS.
FOR ALL ACOUSTIC AND FIRE REQUIREMENTS, DRAWINGS ARE TO BE READ IN CONJUNCTION WITH RELEVANT ACOUSTIC AND FIRE REPORTS.
ALL PIPES AND DOWNPIPES LOCATIONS AND SIZES TO BE READ IN CONJUNCTION WITH CONSULTANTS DRAWINGS.
ALL PENETRATIONS THROUGH FIRE RATED WALLS, FLOORS AND CEILINGS ARE TO MAINTAIN REQUIRED FIRE RATING.
PROVIDE R4.0 ROOF INSULATION TO ALL ROOFING AREAS.
REFER TO FUTURE INTERIORS PACKAGE FOR ALL ENTRY LOBBY AND COMMON AREA DETAILS. ALL COMMON AREA STAIRS, HANDRAILS AND BALUSTRADES TO COMPLY WITH AS 1428-2009.
WHERE STEEL STRUCTURAL BEAMS ARE LOCATED TO THE UNDERSIDE OF A WET AREA SETDOWN OR PENETRATIONS, ENSURE THAT BEAM IS OFFSET AND LOCATED IN A WAY TO AVOID PENETRATIONS AND ALLOW FOR SETDOWN.
PROVIDE ROOF ANCHOR POINTS TO COMPLY WITH AS 1891.4 BUILDER TO PROVIDE ADEQUATE SAFETY PROVISIONS TO AUSTRALIAN STANDARDS REGARDING MAINTENANCE PERSON ACCESS TO ROOF.
ROOF PLAN TO BE READ IN CONJUNCTION WITH ARCHITECTURAL FLOOR PLANS ALL CONSULTANTS DRAWINGS. ALL BOX GUTTERS, DOWNPIPES, FLASHINGS, CAPPINGS & SUMPS TO BE ZINCALUME. ROOF SHEETING TO BE COLORBOND, COLOUR AS SELECTED BY CLIENT PROVIDE APRON FLASHING WHERE SPECIFIED.
LINES AND BRACKETS TO BE PROVIDED TO ROOF BY THE CONTRACTOR TO RELEVANT AUSTRALIAN STANDARDS.
CONTRACTOR TO USE WITH THE STRUCTURAL ENGINEER TO ENSURE ADEQUATE STRUCTURAL SUPPORT AT FIXING POINTS.
ALL SERVICES TO ROOF AREA EG. ROOF COILS, ROOF VENTS ETC. TO BE EITHER COLORBOND OR POWDERCOAT FINISH TO MATCH ROOFING FINISH.

REV	DESCRIPTION	DRN	CHK	DATE
P12	DESIGN REVISION2	AK	AK	21.09.2020
P13	DESIGN REVISION3	AK	AK	22.09.2020
P14	DESIGN REVISION4	AK	AK	23.09.2020
P15	DESIGN REVISION5	AK	AK	23.09.2020
P16	DESIGN REVISION6	AK	AK	28.09.2020
P17	ISSUE FOR APPROVAL	AK	AK	06.10.2020
P18	PRELIMINARY ISSUE	JP	AK	12.10.2020
P19	PRELIMINARY ISSUE	JP	AK	04.11.2020
P20	ISSUE FOR BUILDING PERMIT	AK	JP	13.11.2020



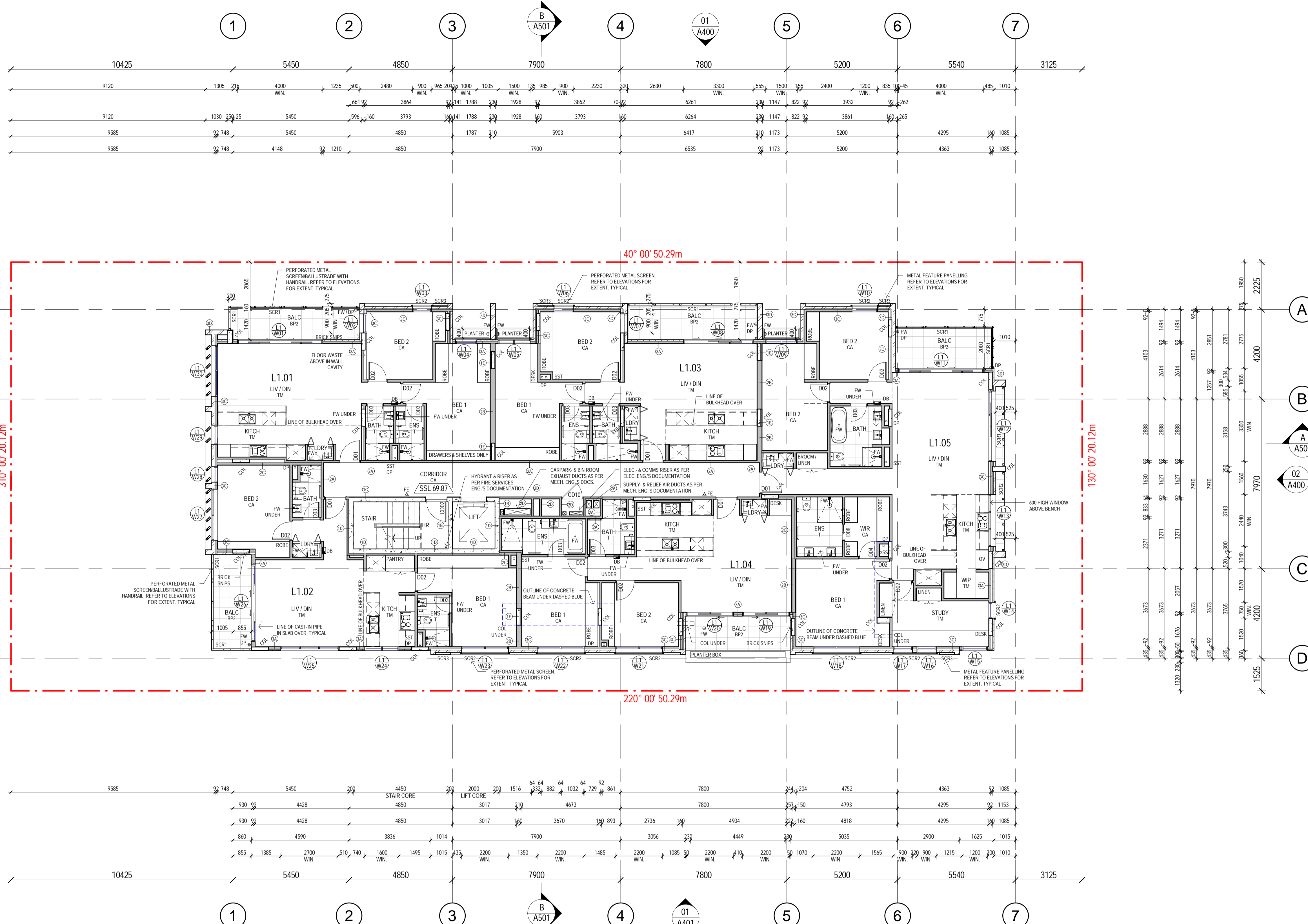
545 King Street West Melbourne 3003
t : 93295988 f : 93294707
e : info@pointarc.com.au



PRELIMINARY

ALL DIMENSIONS MUST BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF ANY WORK OR ESTABLISHMENTS OF ANY SHOP DRAWINGS. FIGURED DIMENSIONS MUST TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL SCALED DIMENSIONS MUST BE VERIFIED ON SITE. THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT.

PROJECT	TITLE	DRAWN	SCALE	PLOT DATE	JOB No.
APARTMENT BUILDING 437 CAMBERWELL ROAD, CAMBERWELL	GROUND LEVEL FLOOR PLAN	AK / JP	1:100 @ A1	13/11/2020 14:43:44	1051
				DWG No	REVISION
				A102	P20



LEGEND

LEGEND ABBREVIATIONS

A/C	CONDENSOR UNIT
BALC	BALCONY
BED 1	BEDROOM 1
BED 2	BEDROOM 2
BED 3	BEDROOM 3
BATH	BATHROOM
COL	STRUCTURAL COLUMN
DB	DISTRIBUTION BOARD
DP	DOWN PIPE
ENS	ENSUITE
FE	PORTABLE FIRE EXTINGUISHER
FH	FIRE HYDRANT
FHR	FIRE HOSE REEL
FW	FLOOR WASTE
FWR	FLOOR WASTE
HALL	HALLWAY
HR	HANDRAIL
KITCH	KITCHEN
LDRY	LAUNDRY
LIV / DIN	LIVING / DINING
SCR1	LOCKER GROUP P/C PERF PERFORATED METAL SCREEN/BALUSTRADE WITH HANDRAIL. ADDM GROUP SYSTEM. REFER TO ELEVATIONS.
SCR2	LOCKER GROUP P/C PERF PERFORATED METAL PRIVACY SCREEN ANXION GROUP SYSTEM. REFER TO ELEVATIONS.
SCR3	LOCKER GROUP P/C PERF METAL FEATURE PANELING. REFER TO ELEVATIONS.
SSL	STRUCTURAL SURFACE LEVEL
SST	SEWER STACK
ST	STORAGE CAGE
WR	WALK IN ROBE
WP	WALK IN PANTRY

LEGEND FLOOR FINISHES

BP1	BALCONY PAVER - TYPE 01
BP2	BALCONY PAVER - TYPE 02
CA	CARPET
CONC	CONCRETE (SEALED ACCORDINGLY)
T	TILES
TM	TIMBER FLOOR COVERING

LEGEND ROOF DRAINAGE

BG	BOX GUTTER
DP	DOWN PIPE
MRS	METAL ROOF SHEETING
RWH	RAIN WATER HEAD
SPR	SPREADER
SU	SUMP

NOTES:
 METAL ROOF SHEETING TO BE LYSAGHT KLIP-LOK 700H-STRENGTH INSTALLED GENERALLY AT 3° ROOF SLOPE AND IN ACCORDANCE TO MANUFACTURER'S DOCUMENTATION.
 METAL ROOF SHEETING, FLASHINGS AND ROOF DRAINAGE TO BE COLORBOND FINISH. REFER TO EXTERNAL FINISHES SCHEDULE FOR COLOUR.

REFERENCE

- Ref DENOTES CROSS SECTIONS / ELEVATIONS
- (A) WALL TAGS (REFER TO WALL TYPE SCHEDULE)
- D00 DOOR NUMBERING (REFER TO DOOR SCHEDULE)
- (W01) WINDOW NUMBERING (REFER TO WINDOW SCHEDULE)

GENERAL NOTES

ALL ARCHITECTURAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH STRUCTURAL, MECHANICAL, HYDRAULIC, ELECTRICAL AND CIVIL CONSULTANTS DRAWINGS, ESD REPORT, SECTION 2 REPORT AND HOUSE ENERGY RATING REPORT. ARCHITECT'S DRAWINGS TO TAKE PRECEDENCE ARCHITECT TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.
 ALL ARCHITECTURAL DRAWINGS TO BE READ IN CONJUNCTION WITH FINISHES & FITTINGS SCHEDULE.
 REFER TO LANDSCAPE ARCHITECTS DETAILS FOR ALL LANDSCAPING WORKS.
 FOR ALL ACOUSTIC AND FIRE REQUIREMENTS, DRAWINGS ARE TO BE READ IN CONJUNCTION WITH RELEVANT ACOUSTIC AND FIRE REPORTS.
 ALL PIPES AND DOWNPIPES LOCATIONS AND SIZES TO BE READ IN CONJUNCTION WITH CONSULTANTS DRAWINGS.
 ALL PENETRATIONS THROUGH FIRE RATED WALLS, FLOORS AND CEILINGS ARE TO MAINTAIN REQUIRED FIRE RATING.
 PROVIDE R4.0 ROOF INSULATION TO ALL ROOFING AREAS.
 REFER TO FUTURE INTERIORS PACKAGE FOR ALL ENTRY, LOBBY AND COMMON AREA DETAILS. ALL COMMON AREA STAIRS, HANDRAILS AND BALUSTRADES TO COMPLY WITH AS 1428-2009.
 WHERE STEEL STRUCTURAL BEAMS ARE LOCATED TO THE UNDERSIDE OF A WET AREA SETDOWN OR PENETRATIONS, ENSURE THAT BEAM IS OFFSET AND LOCATED IN A WAY TO AVOID PENETRATIONS AND ALLOW FOR SETDOWN.
 PROVIDE ROOF ANCHOR POINTS TO COMPLY WITH AS 1891.4 BUILDER TO PROVIDE ADEQUATE SAFETY PROVISIONS TO AUSTRALIAN STANDARDS REGARDING MAINTENANCE PERSON ACCESS TO ROOF.
 ROOF PLAN TO BE READ IN CONJUNCTION WITH ARCHITECTURAL FLOOR PLANS.
 ALL CONSULTANTS DRAWINGS: ALL BOX GUTTERS, DOWNPIPES, FLASHINGS, CAPPINGS & SUMPS TO BE ZINCALUME. ROOF SHEETING TO BE COLORBOND. COLOUR AS SELECTED BY CLIENT PROVIDE APRON FLASHING WHERE SPECIFIED.
 LINES AND BRACKETS TO BE PROVIDED TO ROOF BY THE CONTRACTOR TO RELEVANT AUSTRALIAN STANDARDS.
 CONTRACTOR TO USE WITH THE STRUCTURAL ENGINEER TO ENSURE ADEQUATE STRUCTURAL SUPPORT AT FIXING POINTS.
 ALL SERVICES TO ROOF AREA EG. ROOF COILS, ROOF VENTS ETC. TO BE EITHER COLORBOND OR POWDERCOAT FINISH TO MATCH ROOFING FINISH.

01 FIRST LEVEL FLOOR PLAN
 SCALE 1:100

REV	DESCRIPTION	DRN	CHK	DATE
P10	DESIGN REVISION3	AK	AK	22.09.2020
P11	DESIGN REVISION4	AK	AK	23.09.2020
P12	DESIGN REVISION5	AK	AK	23.09.2020
P13	DESIGN REVISION6	AK	AK	28.09.2020
P14	DESIGN REVISION7	AK	AK	29.09.2020
P15	ISSUE FOR APPROVAL	AK	AK	06.10.2020
P16	PRELIMINARY ISSUE	JP	AK	12.10.2020
P17	PRELIMINARY ISSUE	JP	AK	04.11.2020
P18	ISSUE FOR BUILDING PERMIT	AK / JP	AK	13.11.2020

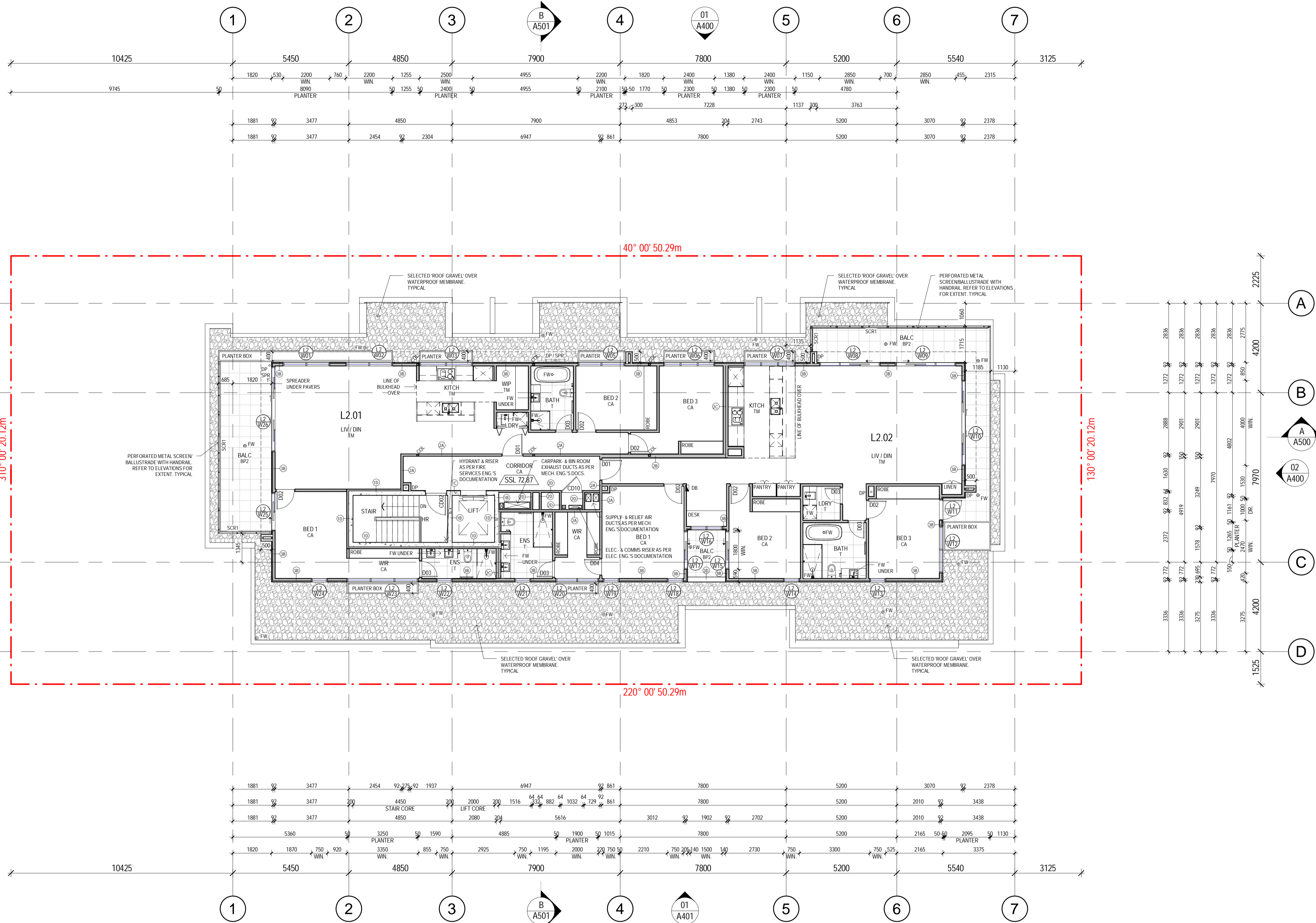
pointarchitects
 545 King Street West Melbourne 3003
 t : 93295988 f : 93294707
 e : info@pointarc.com.au

PRELIMINARY
 ALL DIMENSIONS MUST BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF ANY WORK OR ESTABLISHMENTS OF ANY SHOP DRAWINGS. FIGURED DIMENSIONS MUST TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL SCALED DIMENSIONS MUST BE VERIFIED ON SITE. THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT.

PROJECT
**APARTMENT BUILDING
 437 CAMBERWELL ROAD,
 CAMBERWELL**

TITLE
**FIRST LEVEL FLOOR
 PLAN**

DRAWN	SCALE	PLOT DATE	JOB No.
AK / JP	1:100 @ A1	13/11/2020 14:43:50	1051
DWG No			REVISION
A103			P18



LEGEND

LEGEND ABBREVIATIONS

AC	CONDENSOR UNIT
BALC	BALCONY
BED 1	BEDROOM 1
BED 2	BEDROOM 2
BED 3	BEDROOM 3
BATH	BATHROOM
COL	STRUCTURAL COLUMN
DB	DISTRIBUTION BOARD
DP	DOWN PIPE
ENS	ENSUITE
FE	PORTABLE FIRE EXTINGUISHER
FH	FIRE HYDRANT
FHR	FIRE HOSE REEL
FW	FLOOR WASTE
HALL	HALLWAY
HR	HANDRAIL
KITCH	KITCHEN
LDRY	LAUNDRY
LIV/DIN	LIVING/DINING
SCR1	LOCKER GROUP PVC PERF PERFORATED METAL SCREEN/BALLUSTRADE WITH HANDRAIL. ANOM GROUP SYSTEM. REFER TO ELEVATIONS.
SCR2	LOCKER GROUP PVC PERF PERFORATED METAL PRIVACY SCREEN. ANOM GROUP SYSTEM. REFER TO ELEVATIONS.
SCR3	LOCKER GROUP PVC PERF METAL FEATURE PANNELLING. REFER TO ELEVATIONS.
SSL	STRUCTURAL SURFACE LEVEL
SST	SEWER STACK
ST	STORAGE CAGE
WR	WALK IN ROBE
WP	WALK IN PANTRY

LEGEND FLOOR FINISHES

BP1	BALCONY PAVER - TYPE 01
BP2	BALCONY PAVER - TYPE 02
CA	CARPET
CONC	CONCRETE (SEALED ACCORDINGLY)
T	TILES
TM	TIMBER FLOOR COVERING

LEGEND ROOF DRAINAGE

BG	BOX GUTTER
DP	DOWN PIPE
MRS	METAL ROOF SHEETING
RWH	RAIN WATER HEAD
SPR	SPREADER
SU	SUMP

NOTES:
 METAL ROOF SHEETING TO BE LYSAGHT KLIP-LOK 700HS-STRENGTH INSTALLED GENERALLY AT 3° ROOF SLOPE AND IN ACCORDANCE TO MANUFACTURER'S DOCUMENTATION.
 METAL ROOF SHEETING, FLASHINGS AND ROOF DRAINAGE TO BE COLORBOND FINISH. REFER TO EXTERNAL FINISHES SCHEDULE FOR COLOUR.

REFERENCE

1	Ref	DENOTES CROSS SECTIONS / ELEVATIONS
A101		
(A)		WALL TAGS (REFER TO WALL TYPE SCHEDULE)
D00		DOOR NUMBERING (REFER TO DOOR SCHEDULE)
(W01)		WINDOW NUMBERING (REFER TO WINDOW SCHEDULE)

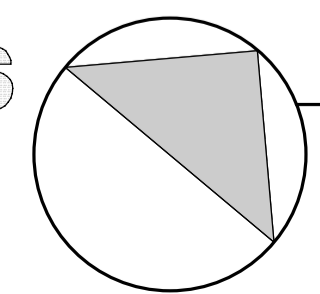
GENERAL NOTES

ALL ARCHITECTURAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH STRUCTURAL, MECHANICAL, ELECTRICAL AND CIVIL CONSULTANTS DRAWINGS, ESD REPORT, SECTION J REPORT AND HOUSE ENERGY RATING REPORT. ARCHITECTS DRAWINGS TO TAKE PRECEDENCE ARCHITECTS TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.
 ALL ARCHITECTURAL DRAWINGS TO BE READ IN CONJUNCTION WITH FINISHES & FITTINGS SCHEDULE.
 REFER TO LANDSCAPE ARCHITECTS DETAILS FOR ALL LANDSCAPING WORKS.
 FOR ALL ACOUSTIC AND FIRE REQUIREMENTS, DRAWINGS ARE TO BE READ IN CONJUNCTION WITH RELEVANT ACoustic AND FIRE REPORTS.
 ALL PIPES AND DOWNPIPES LOCATIONS AND SIZES TO BE READ IN CONJUNCTION WITH CONSULTANTS DRAWINGS.
 ALL PENETRATIONS THROUGH FIRE RATED WALLS, FLOORS AND CEILINGS ARE TO MAINTAIN REQUIRED FIRE RATING.
 PROVIDE R4.0 ROOF INSULATION TO ALL ROOFING AREAS.
 REFER TO FUTURE INTERIORS PACKAGE FOR ALL ENTRY, LOBBY AND COMMON AREA DETAILS. ALL COMMON AREA STAIRS, HANDRAILS AND BALUSTRADES TO COMPLY WITH AS 1428-2009.
 WHERE STEEL STRUCTURAL BEAMS ARE LOCATED TO THE UNDERSIDE OF A WET AREA SETDOWN OR PENETRATIONS, ENSURE THAT BEAM IS OFFSET AND LOCATED IN A WAY TO AVOID PENETRATIONS AND ALLOW FOR SETDOWN.
 PROVIDE ROOF ANCHOR POINTS TO COMPLY WITH AS 1891.4 BULDER TO PROVIDE ADEQUATE SAFETY PROVISIONS TO AUSTRALIAN STANDARDS REGARDING MAINTENANCE PERSON ACCESS TO ROOF.
 ROOF PLAN TO BE READ IN CONJUNCTION WITH ARCHITECTURAL FLOOR PLANS. ALL CONSULTANTS DRAWINGS: ALL BOX GUTTERS, DOWNPIPES, FLASHINGS, CAPPINGS & SUMPS TO BE ZINCALUME. ROOF SHEETING TO BE COLORBOND. COLOUR AS SELECTED BY CLIENT PROVIDE APRON FLASHING WHERE SPECIFIED.
 LINES AND BRACKETS TO BE PROVIDED TO ROOF BY THE CONTRACTOR TO RELEVANT AUSTRALIAN STANDARDS.
 CONTRACTOR TO USE WITH THE STRUCTURAL ENGINEER TO ENSURE ADEQUATE STRUCTURAL SUPPORT AT FIXING POINTS.
 ALL SERVICES TO ROOF AREA EG. ROOF COILS, ROOF VENTS ETC. TO BE EITHER COLORBOND OR POWDERCOAT FINISH TO MATCH ROOFING FINISH.

01 SECOND LEVEL FLOOR PLAN
 A104 SCALE 1:100

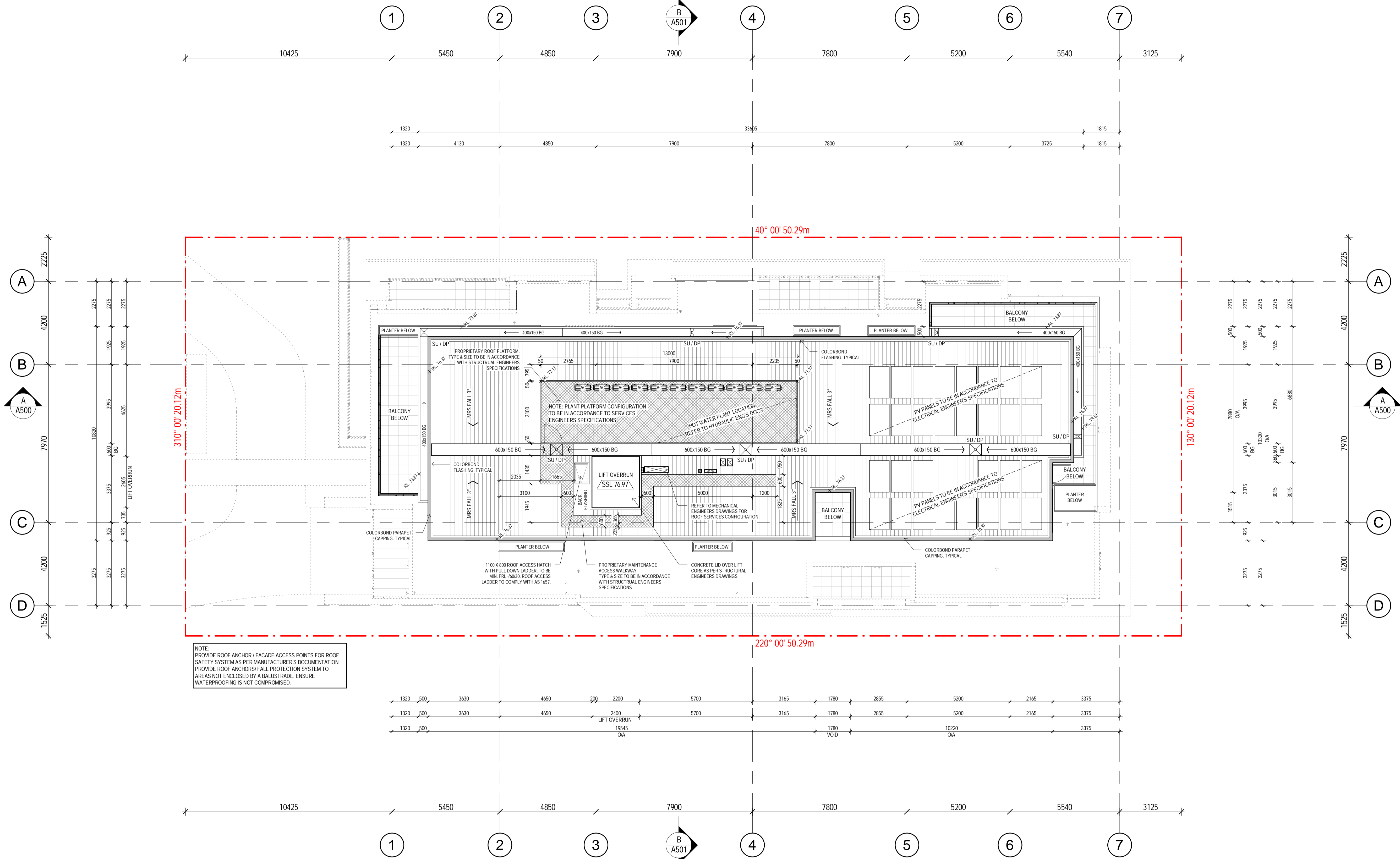
REV	DESCRIPTION	DRN	CHK	DATE
P8	DESIGN REVISION 4	AK	AK	23.09.2020
P9	DESIGN REVISION 5	AK	AK	23.09.2020
P10	DESIGN REVISION 6	AK	AK	28.09.2020
P11	DESIGN REVISION 7	AK	AK	29.09.2020
P12	DESIGN REVISION 8	AK	AK	02.10.2020
P13	ISSUE FOR APPROVAL	AK	AK	06.10.2020
P14	PRELIMINARY ISSUE	JP	AK	12.10.2020
P15	PRELIMINARY ISSUE	JP	AK	04.11.2020
P16	ISSUE FOR BUILDING PERMIT	AK / JP	AK	13.11.2020

point architects
 545 King Street West Melbourne 3003
 t : 93295988 f : 93294707
 e : info@pointarc.com.au



PRELIMINARY
 ALL DIMENSIONS MUST BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF ANY WORK OR ESTABLISHMENTS OF ANY SHOP DRAWINGS. FIGURED DIMENSIONS MUST TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL SCALED DIMENSIONS MUST BE VERIFIED ON SITE. THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT.

PROJECT	TITLE	DRAWN	SCALE	PLOT DATE	JOB No.
APARTMENT BUILDING 437 CAMBERWELL ROAD, CAMBERWELL	SECOND LEVEL FLOOR PLAN	AK / JP	1:100 @ A1	13/11/2020 14:43:55	1051
				DWG No	REVISION
				A104	P16



NOTE:
 PROVIDE ROOF ANCHOR / FACADE ACCESS POINTS FOR ROOF SAFETY SYSTEM AS PER MANUFACTURER'S DOCUMENTATION.
 PROVIDE ROOF ANCHORS / FALL PROTECTION SYSTEM TO AREAS NOT ENCLOSED BY A BALUSTRADE. ENSURE WATERPROOFING IS NOT COMPROMISED.

LEGEND

LEGEND ABBREVIATIONS

A/C	CONDENSOR UNIT
BALC	BALCONY
BED 1	BEDROOM 1
BED 2	BEDROOM 2
BED 3	BEDROOM 3
BATH	BATHROOM
COL	STRUCTURAL COLUMN
DB	DISTRIBUTION BOARD
DP	DOWN PIPE
ENS	ENSUITE
FE	PORTABLE FIRE EXTINGUISHER
FH	FIRE HYDRANT
FHR	FIRE HOSE REEL
FW	FLOOR WASTE
HALL	HALLWAY
HR	HANDRAIL
KITCH	KITCHEN
LDRY	LAUNDRY
LIV / DIN	LIVING / DINING
SCR1	LOCKER GROUP PVC PERF PERFORATED METAL SCREEN BALUSTRADE WITH HANDRAIL. ANOM GROUP SYSTEM. REFER TO ELEVATIONS.
SCR2	LOCKER GROUP PVC PERF PERFORATED METAL PRIVACY SCREEN ANOM GROUP SYSTEM. REFER TO ELEVATIONS.
SCR3	LOCKER GROUP PVC PERF METAL FEATURE PANNELLING. REFER TO ELEVATIONS.
SSL	STRUCTURAL SURFACE LEVEL
SST	SEWER STACK
ST	STORAGE CAGE
WR	WALK IN ROBE
WP	WALK IN PANTRY

LEGEND FLOOR FINISHES

BP1	BALCONY PAVEN - TYPE 01
BP2	BALCONY PAVEN - TYPE 02
CA	CARPET
CONC	CONCRETE (SEALED ACCORDINGLY)
T	TILES
TM	TIMBER FLOOR COVERING

LEGEND ROOF DRAINAGE

BG	BOX GUTTER
DP	DOWN PIPE
MRS	METAL ROOF SHEETING
RWH	RAIN WATER HEAD
SPR	SPREADER
SU	SUMP

NOTES:
 METAL ROOF SHEETING TO BE LYSAGHT KLIP-LOK 700HS-STRENGTH INSTALLED GENERALLY AT 3° ROOF SLOPE AND IN ACCORDANCE TO MANUFACTURER'S DOCUMENTATION.
 METAL ROOF SHEETING, FLASHINGS AND ROOF DRAINAGE TO BE COLORBOND FINISH. REFER TO EXTERNAL FINISHES SCHEDULE FOR COLOUR.

REFERENCE

1	Ref	DENOTES CROSS SECTIONS / ELEVATIONS
(A)		WALL TAGS (REFER TO WALL TYPE SCHEDULE)
D00		DOOR NUMBERING (REFER TO DOOR SCHEDULE)
(CL / WGT)		WINDOW NUMBERING (REFER TO WINDOW SCHEDULE)

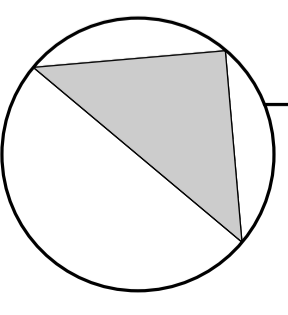
GENERAL NOTES

ALL ARCHITECTURAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH STRUCTURAL, MECHANICAL, HYDRAULIC, ELECTRICAL AND CIVIL CONSULTANTS DRAWINGS, ESD REPORT, SECTION 2 REPORT AND HOUSE ENERGY RATING REPORT. ARCHITECT'S DRAWINGS TO TAKE PRECEDENCE ARCHITECT TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.
 ALL ARCHITECTURAL DRAWINGS TO BE READ IN CONJUNCTION WITH FINISHES & FITTINGS SCHEDULE.
 REFER TO LANDSCAPE ARCHITECTS DETAILS FOR ALL LANDSCAPING WORKS.
 FOR ALL ACOUSTIC AND FIRE REQUIREMENTS, DRAWINGS ARE TO BE READ IN CONJUNCTION WITH RELEVANT ACOUSTIC AND FIRE REPORTS.
 ALL PIPES AND DOWNPIPES LOCATIONS AND SIZES TO BE READ IN CONJUNCTION WITH CONSULTANTS DRAWINGS.
 ALL PENETRATIONS THROUGH FIRE RATED WALLS, FLOORS AND CEILINGS ARE TO MAINTAIN REQUIRED FIRE RATING.
 PROVIDE R4.0 ROOF INSULATION TO ALL ROOFING AREAS.
 REFER TO FUTURE INTERIORS PACKAGE FOR ALL ENTRY, LOBBY AND COMMON AREA DETAILS. ALL COMMON AREA STAIRS, HANDRAILS AND BALUSTRADES TO COMPLY WITH AS 1428.1-2009.
 WHERE STEEL STRUCTURAL BEAMS ARE LOCATED TO THE UNDERSIDE OF A WET AREA SETDOWN OR PENETRATIONS, ENSURE THAT BEAM IS OFFSET AND LOCATED IN A WAY TO AVOID PENETRATIONS AND ALLOW FOR SETDOWN.
 PROVIDE ROOF ANCHOR POINTS TO COMPLY WITH AS 1891.4 BUILDER TO PROVIDE ADEQUATE SAFETY PROVISIONS TO AUSTRALIAN STANDARDS REGARDING MAINTENANCE PERSON ACCESS TO ROOF.
 ROOF PLAN TO BE READ IN CONJUNCTION WITH ARCHITECTURAL FLOOR PLANS ALL CONSULTANTS DRAWINGS. ALL BOX GUTTERS, DOWNPIPES, FLASHINGS, CAPPINGS & SUMPS TO BE ZINCALUME. ROOF SHEETING TO BE COLORBOND, COLOUR AS SELECTED BY CLIENT PROVIDE APRON FLASHING WHERE SPECIFIED.
 LINES AND BRACKETS TO BE PROVIDED TO ROOF BY THE CONTRACTOR TO RELEVANT AUSTRALIAN STANDARDS.
 CONTRACTOR TO USE WITH THE STRUCTURAL ENGINEER TO ENSURE ADEQUATE STRUCTURAL SUPPORT AT FIXING POINTS.
 ALL SERVICES TO ROOF AREA EG. ROOF COILS, ROOF VENTS ETC. TO BE EITHER COLORBOND OR POWDERCOAT FINISH TO MATCH ROOFING FINISH.

01 ROOF PLAN
 A105 SCALE 1:100

REV	DESCRIPTION	DRN	CHK	DATE
P1	PRELIMINARY ISSUE	AK	AK	28.07.2020
P2	PRELIMINARY ISSUE	AK	AK	31.07.2020
P3	PRELIMINARY ISSUE	AK	AK	21.08.2020
P4	PRELIMINARY ISSUE	JP	AK	08.09.2020
P5	PRELIMINARY ISSUE	JP	AK	15.09.2020
P6	PRELIMINARY ISSUE	JP	AK	17.09.2020
P7	PRELIMINARY ISSUE	JP	AK	12.10.2020
P8	PRELIMINARY ISSUE	JP	AK	04.11.2020
P9	ISSUE FOR BUILDING PERMIT	AK / JP	AK	13.11.2020

point architects
 545 King Street West Melbourne 3003
 t : 93295988 f : 93294707
 e : info@pointarc.com.au



PRELIMINARY
 ALL DIMENSIONS MUST BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF ANY WORK OR ESTABLISHMENTS OF ANY SHOP DRAWINGS. FIGURED DIMENSIONS MUST TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL SCALED DIMENSIONS MUST BE VERIFIED ON SITE. THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT.

PROJECT
 APARTMENT BUILDING
 437 CAMBERWELL ROAD,
 CAMBERWELL

TITLE
 ROOF PLAN

DRAWN
 SCALE
 PLOT DATE
 JOB No.
 AK / JP 1:100 @ A1 13/11/2020 14:43:57 1051
 DWG No
 REVISION
 A105 P9



NOTE:
PROVIDE INSULATION TO UNDERSIDE OF SLAB AND/OR TO
CEILING AS REQUIRED BY THE ESD REPORT. REFER TO ESD
REPORT FOR SPECIFICATIONS AND EXTENT OF LOCATION.

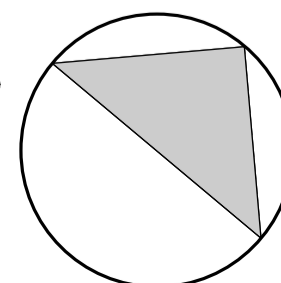
LEGEND	
LEGEND CEILINGS	
	FINISHED CEILING LEVEL ABOVE FINISHED FLOOR LEVEL MATERIAL
	SERVICE RISER DUCTS
	ACCESS PANEL (INDICATIVE LOCATION SHOWN, TBC ON SITE)
	CONCRETE (SEALED ACCORDINGLY)
	FIBRE CEMENT
	MOISTURE RESISTANT PLASTER BOARD
	PLASTER BOARD
GENERAL NOTES	
ALL CEILINGS AND SOFFITS TO BE PAINT FINISH	
PROVIDE CEILING AND UNDERSLAB INSULATION IN ACCORDANCE TO ESD REPORT.	
REFER TO ELEC. ENG.'S DOCUMENTATION FOR LIGHT FITTINGS LOCATIONS AND SPECIFICATIONS.	
REFER TO FIRE SERVICES DRAWINGS FOR SPRINKLER DETAILS.	
REFER TO MECH. ENG.'S DOCUMENTATION FOR MECH. EQUIPMENT DETAILS AND LOCATIONS OF ACCESS PANELS.	
REFER TO HYDRAULIC ENG.'S DOCUMENTATION FOR UNDERSLAB PIPING AND DRAINAGE DETAILS.	

01 BASEMENT LEVEL RCP
A300 SCALE 1 : 100

REV	DESCRIPTION	DRN	CHK	DATE
P1	PRELIMINARY ISSUE	AK	AK	07.08.2020
P2	PRELIMINARY ISSUE	AK	AK	21.08.2020
P3	PRELIMINARY ISSUE	AK	AK	26.08.2020
P4	PRELIMINARY ISSUE	JP	AK	17.09.2020
P5	PRELIMINARY ISSUE	JP	AK	12.10.2020
P6	ISSUE FOR BUILDING PERMIT	AK / JP	AK	13.11.2020

pointarchitects

545 King Street West Melbourne 3003
t : 93295988 f : 93294707
e : info@pointarc.com.au



PRELIMINARY

ALL DIMENSIONS MUST BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF ANY WORK OR ESTABLISHMENTS OF ANY SHOP DRAWINGS. FIGURED DIMENSIONS MUST TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL SCALED DIMENSIONS MUST BE VERIFIED ON SITE. THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT.

PROJECT
APARTMENT BUILDING
437 CAMBERWELL ROAD,
CAMBERWELL

TITLE
BASEMENT LEVEL
REFLECTED CEILING
PLAN

DRAWN SCALE PLOT DATE JOB No.
AK / JP 1 : 100 13/11/2020 1051
@ A1 15:49:01
DWG No REVISION
A300 P6



NOTE:
PROVIDE INSULATION TO UNDERSIDE OF SLAB AND/OR TO
CEILING AS REQUIRED BY THE ESD REPORT. REFER TO ESD
REPORT FOR SPECIFICATIONS AND EXTENT OF LOCATION.

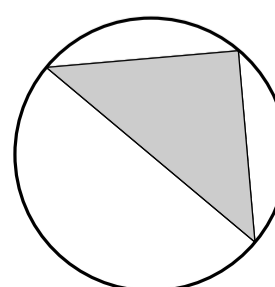
LEGEND	
LEGEND CEILINGS	
	FINISHED CEILING LEVEL ABOVE FINISHED FLOOR LEVEL MATERIAL
	SERVICE RISER DUCTS
	ACCESS PANEL (INDICATIVE LOCATION SHOWN, TBC ON SITE)
	CONCRETE (SEALED ACCORDINGLY)
	FIBRE CEMENT
	MOISTURE RESISTANT PLASTER BOARD
	PLASTER BOARD
GENERAL NOTES	
ALL CEILINGS AND SOFFITS TO BE PAINT FINISH	
PROVIDE CEILING AND UNDERSLAB INSULATION IN ACCORDANCE TO ESD REPORT.	
REFER TO ELEC. ENG.'S DOCUMENTATION FOR LIGHT FITTINGS LOCATIONS AND SPECIFICATIONS.	
REFER TO FIRE SERVICES DRAWINGS FOR SPRINKLER DETAILS.	
REFER TO MECH. ENG.'S DOCUMENTATION FOR MECH. EQUIPMENT DETAILS AND LOCATIONS OF ACCESS PANELS.	
REFER TO HYDRAULIC ENG.'S DOCUMENTATION FOR UNDERSLAB PIPING AND DRAINAGE DETAILS.	

01 GROUND LEVEL RCP
A301 SCALE 1:100

REV	DESCRIPTION	DRN	CHK	DATE
P1	PRELIMINARY ISSUE	AK	AK	07.08.2020
P2	PRELIMINARY ISSUE	AK	AK	21.08.2020
P3	PRELIMINARY ISSUE	AK	AK	24.08.2020
P4	PRELIMINARY ISSUE	JP	AK	17.09.2020
P5	PRELIMINARY ISSUE	JP	AK	12.10.2020
P6	ISSUE FOR BUILDING PERMIT	AK / JP	AK	13.11.2020

pointarchitects

545 King Street West Melbourne 3003
t : 93295988 f : 93294707
e : info@pointarc.com.au



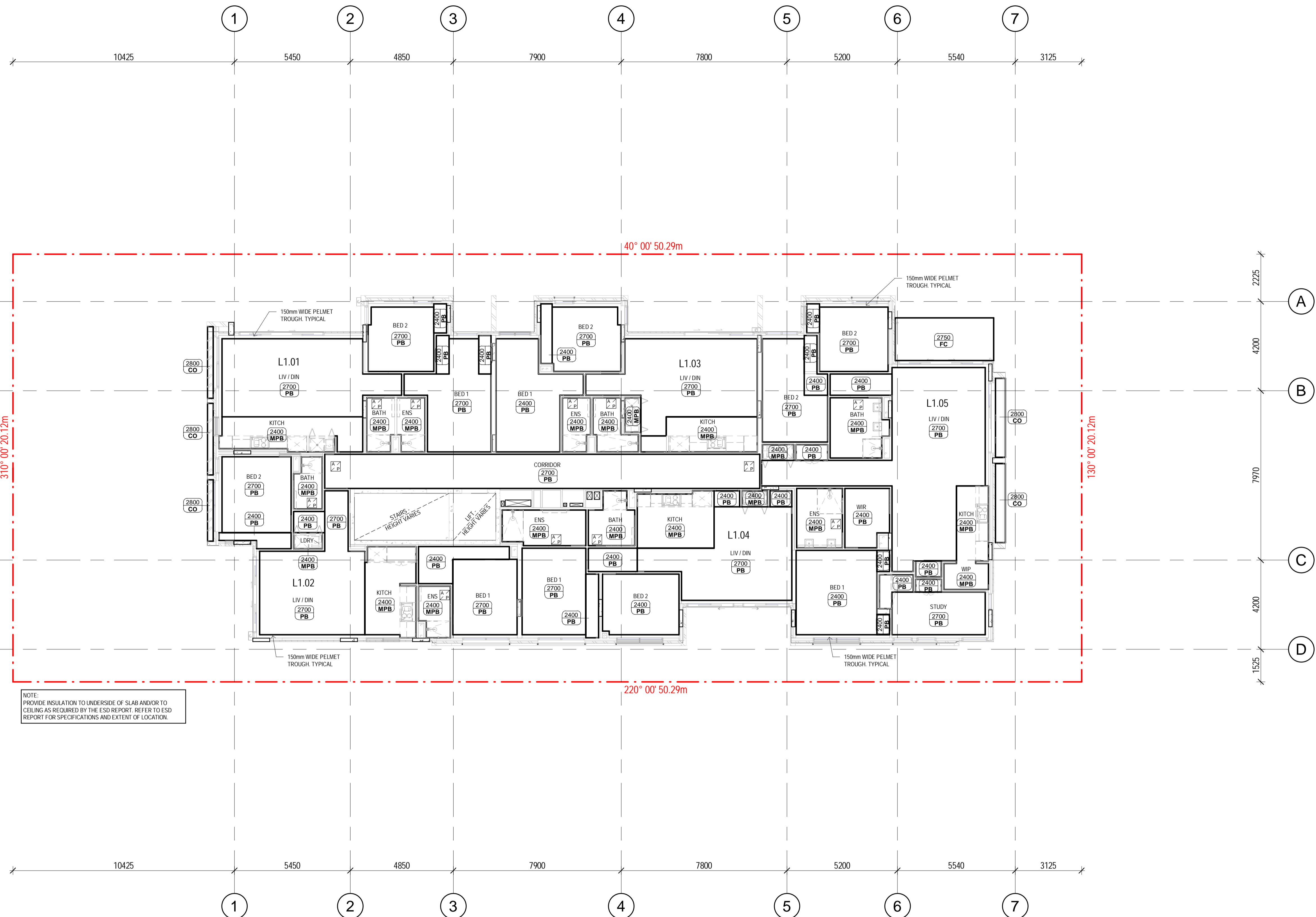
PRELIMINARY

ALL DIMENSIONS MUST BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF ANY WORK OR ESTABLISHMENTS OF ANY SHOP DRAWINGS. FIGURED DIMENSIONS MUST TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL SCALED DIMENSIONS MUST BE VERIFIED ON SITE. THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT.

PROJECT
APARTMENT BUILDING
437 CAMBERWELL ROAD,
CAMBERWELL

TITLE
GROUND LEVEL
REFLECTED CEILING
PLAN

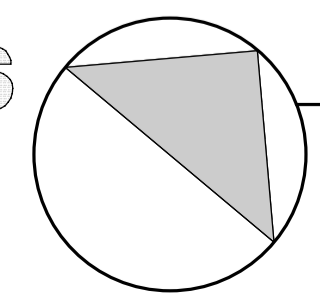
DRAWN SCALE PLOT DATE JOB No.
AK / JP 1 : 100 13/11/2020 1051
@ A1 15:49:06
DWG No REVISION
A301 P6



01 FIRST LEVEL RCP
A302 SCALE 1 : 100

REV	DESCRIPTION	DRN	CHK	DATE
P1	PRELIMINARY ISSUE	AK	AK	07.08.2020
P2	PRELIMINARY ISSUE	AK	AK	21.08.2020
P3	PRELIMINARY ISSUE	AK	AK	24.08.2020
P4	PRELIMINARY ISSUE	JP	AK	17.09.2020
P5	PRELIMINARY ISSUE	JP	AK	12.10.2020
P6	ISSUE FOR BUILDING PERMIT	AK / JP	AK	13.11.2020

pointarchitects
545 King Street West Melbourne 3003
t : 93295988 f : 93294707
e : info@pointarc.com.au



PRELIMINARY
ALL DIMENSIONS MUST BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF ANY WORK OR ESTABLISHMENTS OF ANY SHOP DRAWINGS. FIGURED DIMENSIONS MUST TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL SCALED DIMENSIONS MUST BE VERIFIED ON SITE. THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT.

PROJECT
APARTMENT BUILDING
437 CAMBERWELL ROAD,
CAMBERWELL

TITLE
FIRST LEVEL
REFLECTED CEILING
PLAN

DRAWN SCALE PLOT DATE JOB No.
AK / JP 1 : 100 13/11/2020 1051
@ A1 15:49:11
DWG No REVISION
A302 P6

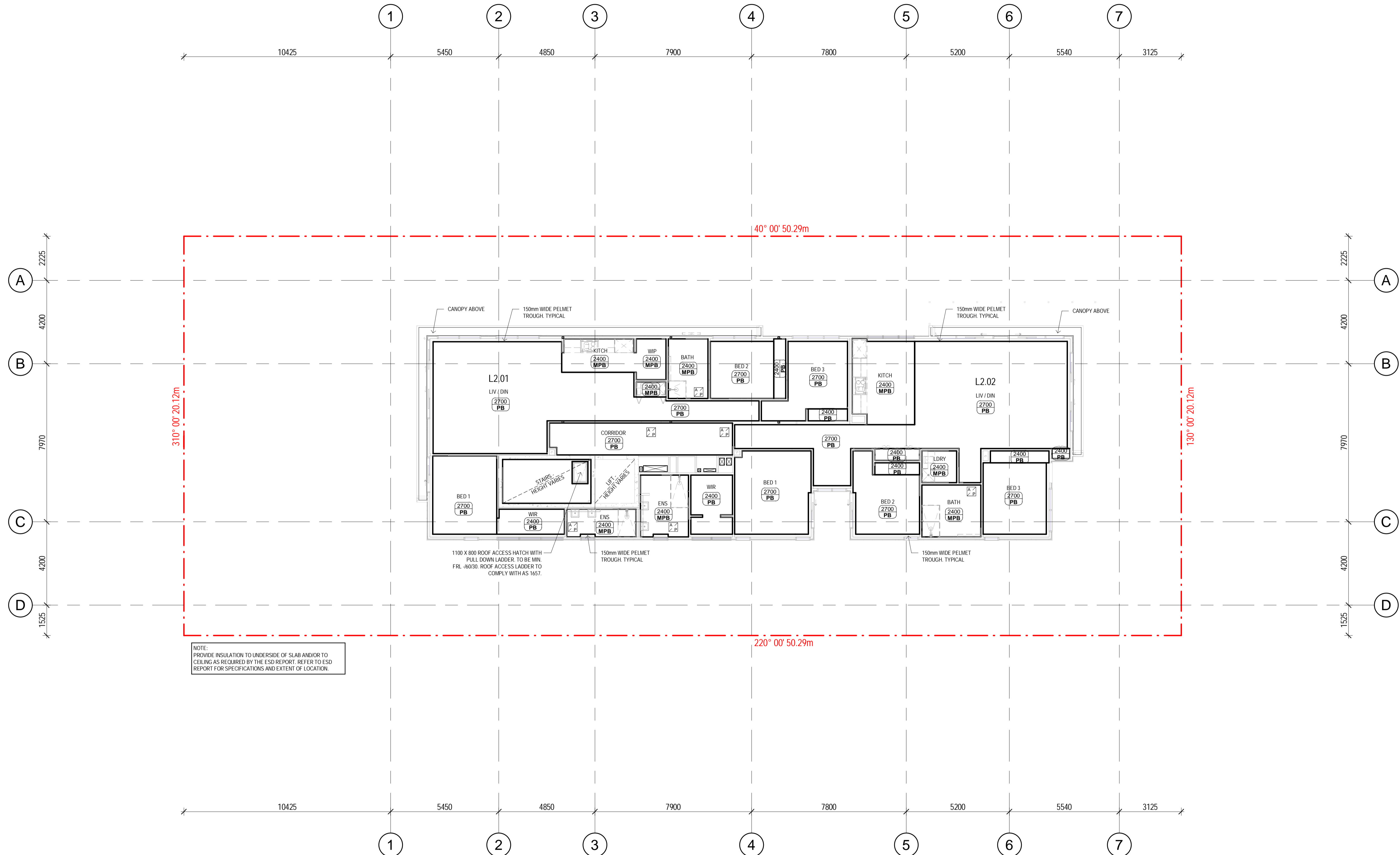
LEGEND

LEGEND CEILINGS

- 2400 PB FINISHED CEILING LEVEL ABOVE FINISHED FLOOR LEVEL MATERIAL
- ⊠ SERVICE RISER DUCTS
- ⊠ ACCESS PANEL (INDICATIVE LOCATION SHOWN, TBC ON SITE)
- CO CONCRETE (SEALED ACCORDINGLY)
- FC FIBRE CEMENT
- MPB MOISTURE RESISTANT PLASTER BOARD
- PB PLASTER BOARD

GENERAL NOTES

ALL CEILINGS AND SOFFITS TO BE PAINT FINISH
PROVIDE CEILING AND UNDERSLAB INSULATION IN ACCORDANCE TO ESD REPORT.
REFER TO ELEC. ENG.'S DOCUMENTATION FOR LIGHT FITTINGS LOCATIONS AND SPECIFICATIONS.
REFER TO FIRE SERVICES DRAWINGS FOR SPRINKLER DETAILS.
REFER TO MECH. ENG.'S DOCUMENTATION FOR MECH. EQUIPMENT DETAILS AND LOCATIONS OF ACCESS PANELS.
REFER TO HYDRAULIC ENG.'S DOCUMENTATION FOR UNDERSLAB PIPING AND DRAINAGE DETAILS.



NOTE:
PROVIDE INSULATION TO UNDERSIDE OF SLAB AND/OR TO
CEILING AS REQUIRED BY THE ESD REPORT. REFER TO ESD
REPORT FOR SPECIFICATIONS AND EXTENT OF LOCATION.

LEGEND

LEGEND CEILINGS	
	FINISHED CEILING LEVEL ABOVE FINISHED FLOOR LEVEL MATERIAL
	SERVICE RISER DUCTS
	ACCESS PANEL (INDICATIVE LOCATION SHOWN, TBC ON SITE)
	CONCRETE (SEALED ACCORDINGLY)
	FIBRE CEMENT
	MOISTURE RESISTANT PLASTER BOARD
	PLASTER BOARD

GENERAL NOTES

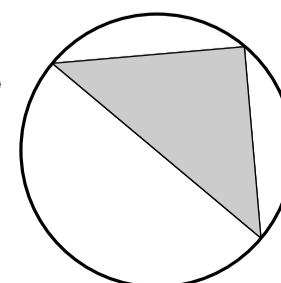
ALL CEILINGS AND SOFFITS TO BE PAINT FINISH
PROVIDE CEILING AND UNDERSLAB INSULATION IN ACCORDANCE TO ESD REPORT.
REFER TO ELEC. ENG.'S DOCUMENTATION FOR LIGHT FITTINGS LOCATIONS AND SPECIFICATIONS.
REFER TO FIRE SERVICES DRAWINGS FOR SPRINKLER DETAILS.
REFER TO MECH. ENG.'S DOCUMENTATION FOR MECH. EQUIPMENT DETAILS AND LOCATIONS OF ACCESS PANELS.
REFER TO HYDRAULIC ENG.'S DOCUMENTATION FOR UNDERSLAB PIPING AND DRAINAGE DETAILS.

01 SECOND LEVEL RCP
A303 SCALE 1 : 100

REV	DESCRIPTION	DRN	CHK	DATE
P1	PRELIMINARY ISSUE	AK	AK	07.08.2020
P2	PRELIMINARY ISSUE	AK	AK	21.08.2020
P3	PRELIMINARY ISSUE	JP	AK	17.09.2020
P4	PRELIMINARY ISSUE	JP	AK	12.10.2020
P5	ISSUE FOR BUILDING PERMIT	AK / JP	AK	13.11.2020

pointarchitects

545 King Street West Melbourne 3003
t : 93295988 f : 93294707
e : info@pointarc.com.au



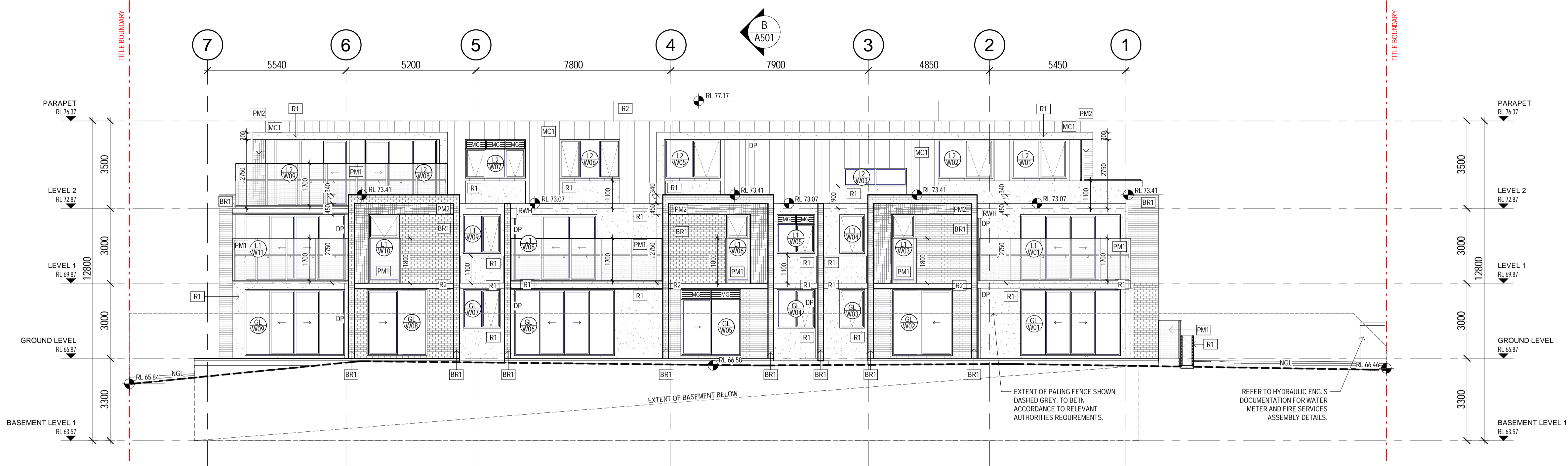
PRELIMINARY

ALL DIMENSIONS MUST BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF ANY WORK OR ESTABLISHMENTS OF ANY SHOP DRAWINGS. FIGURED DIMENSIONS MUST TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL SCALED DIMENSIONS MUST BE VERIFIED ON SITE. THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT.

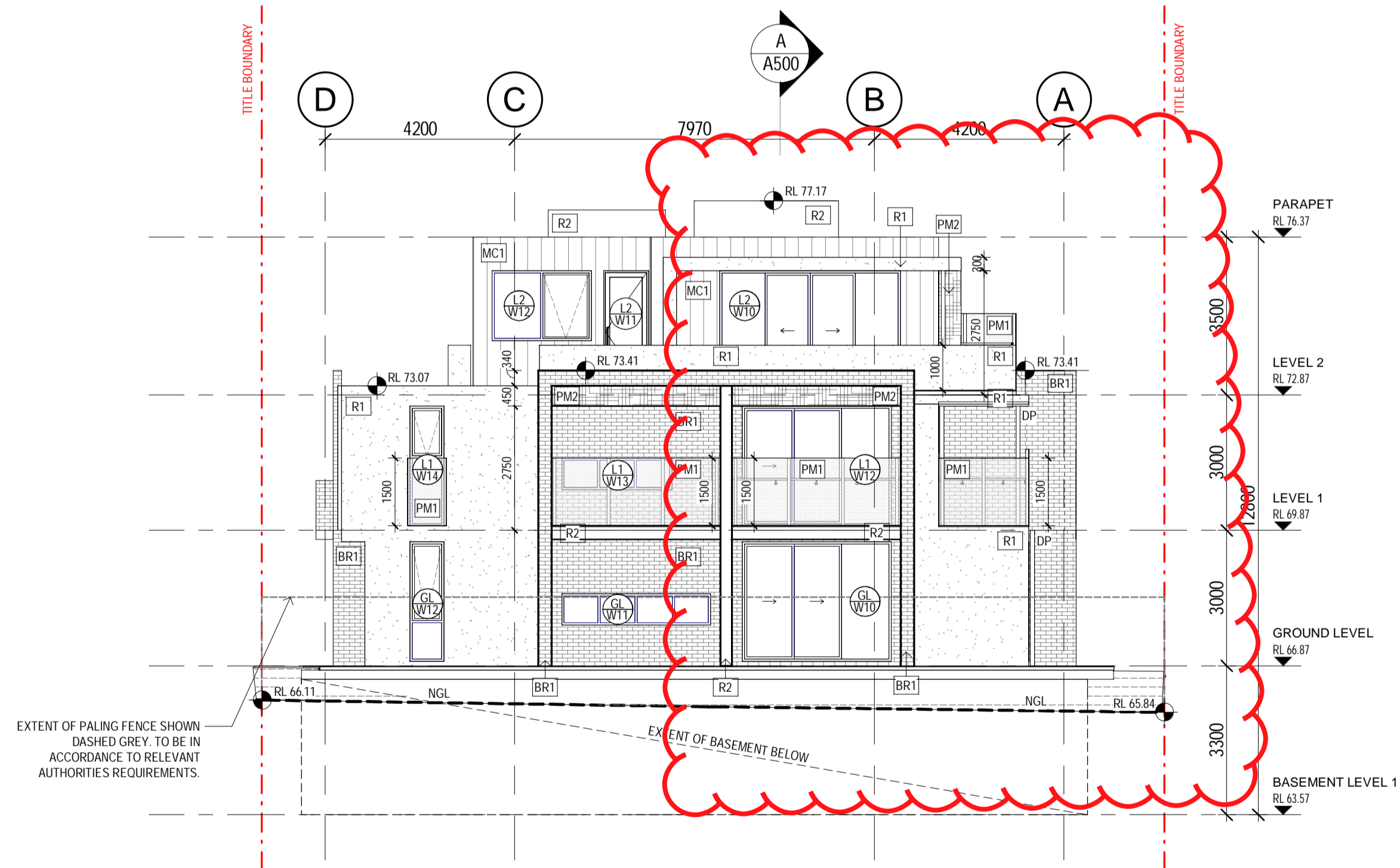
PROJECT
APARTMENT BUILDING
437 CAMBERWELL ROAD,
CAMBERWELL

TITLE
SECOND LEVEL
REFLECTED CEILING
PLAN

DRAWN	SCALE	PLOT DATE	JOB No.
AK / JP	1 : 100 @ A1	13/11/2020 14:44:14	1051
		DWG No A303	REVISION P5



01 NORTH ELEVATION
A400 SCALE 1 : 100



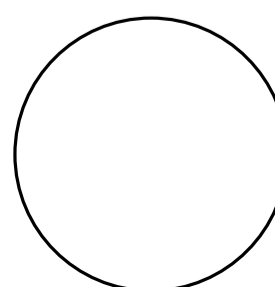
02 EAST ELEVATION (CRESCENT RD)
A400 SCALE 1 : 100

LEGEND		GENERAL NOTES
EXTERNAL FINISHES		<p>ALL ARCHITECTURAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH TOWN PLANNING CONDITIONS AND ALL OTHER CONSULTANTS DOCUMENTATION (STRUCTURAL, MECHANICAL, HYDRAULIC, ELECTRICAL AND CIVIL ENGINEERS). ARCHITECT TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.</p> <p>ARCHITECTURAL DRAWINGS TO BE READ IN CONJUNCTION WITH FINISHES & FITTINGS SCHEDULE.</p> <p>DRAWING TO BE READ IN CONJUNCTION WITH WINDOW SCHEDULE AND WALL TYPES. ARCHITECT TO BE NOTIFIED OF ANY DISCREPANCIES IMMEDIATELY.</p> <p>SELECTED POWDERCOAT FINISH TO MECHANICAL GRILLES TO MATCH SURROUNDING WINDOW FRAME. WHERE A GRILL IS ON FACADE, GRILL FINISH TO MATCH SURROUNDING WALL FINISH.</p> <p>ALL GLAZING TO BE INSTALLED IN ACCORDANCE WITH AS 1288 AND ESD REPORT.</p> <p>ALL WINDOWS TO BE INSTALLED IN ACCORDANCE WITH AS 2047.</p> <p>ALL EXHAUSTIVE MECHANICAL VENTILATION TO BATHROOMS AND LAUNDRIES TO COMPLY WITH AS 1468.2.</p> <p>MATERIALS, SPECIFICATIONS AND FIXING DETAILS FOR FACADE LOUVRES AND FACADE WINDOW FEATURE FRAMES ARE TO BE CONFIRMED BY THE CLIENT.</p> <p>STRUCTURAL ENGINEERS TO PROVIDE RECESSED STITCH PLATES IN SLAB FOR LOUVER FININGS. REFER TO SLAB SET OUT PLANS AND LOUVER SCHEDULE FOR LOCATIONS.</p>
BR1	BRICKS COLOUR: 'ALTITUDE OLYMPUS' TYPE: PGH BRICKS	
MC1	METAL CLADDING COLOUR: 'COLORBOND WINDSPRAY' TYPE: LYSAGHT COLORBOND STANDING SEAM STEEL (VERTICAL DIRECTION)	
R1	RENDER FINISH 1 COLOUR: 'DULUX TAHAPPE' TYPE: SMOOTH	
R2	RENDER FINISH 2 COLOUR: 'DULUX CHARCOAL LIGHT' TYPE: SMOOTH	
PM1	PERFORATED METAL SCREEN 1 COLOUR: POWDERCOATED INTERPON SABLE CORE TEN TYPE: LOCKER GROUP PIC PERFC CUSTOM ORGANIC PATTERN WITH AXIOM GROUP FRAMING SYSTEM NOTE: MAX 5% VISUAL PERMEABILITY	
PM2	PERFORATED METAL SCREEN 2 COLOUR: POWDERCOATED INTERPON SABLE CORE TEN TYPE: LOCKER GROUP PIC PERFC CUSTOM ORGANIC PATTERN WITH AXIOM GROUP FRAMING SYSTEM NOTE: MAX 5% VISUAL PERMEABILITY	
DP	DOWN PIPE COLOUR: FINISH TO MATCH SURROUND	
RWH	RAIN WATER HEAD COLOUR: FINISH TO MATCH SURROUND	
MG	MECHANICAL EXHAUST GRILLE REFER TO MECH ENGINEERS DRAWINGS	
NGL	NATURAL GROUND LEVEL. REFER TO SURVEY FOR FURTHER INFORMATION.	
W1-W12	WINDOW NUMBERING	
ALUMINUM DOOR AND WINDOW FRAMES	ALUMINUM DOOR AND WINDOW FRAMES POWDER COAT FINISH DULUX NIGHT SKY	

REV	DESCRIPTION	DRN	CHK	DATE
P1	PRELIMINARY ISSUE	AK	AK	07.08.2020
P2	PRELIMINARY ISSUE	AK	AK	27.08.2020
P3	PRELIMINARY ISSUE	JP	AK	08.09.2020
P4	PRELIMINARY ISSUE	JP	AK	17.09.2020
P5	ISSUE FOR BUILDING PERMIT	AK / JP	AK	13.11.2020

pointarchitects

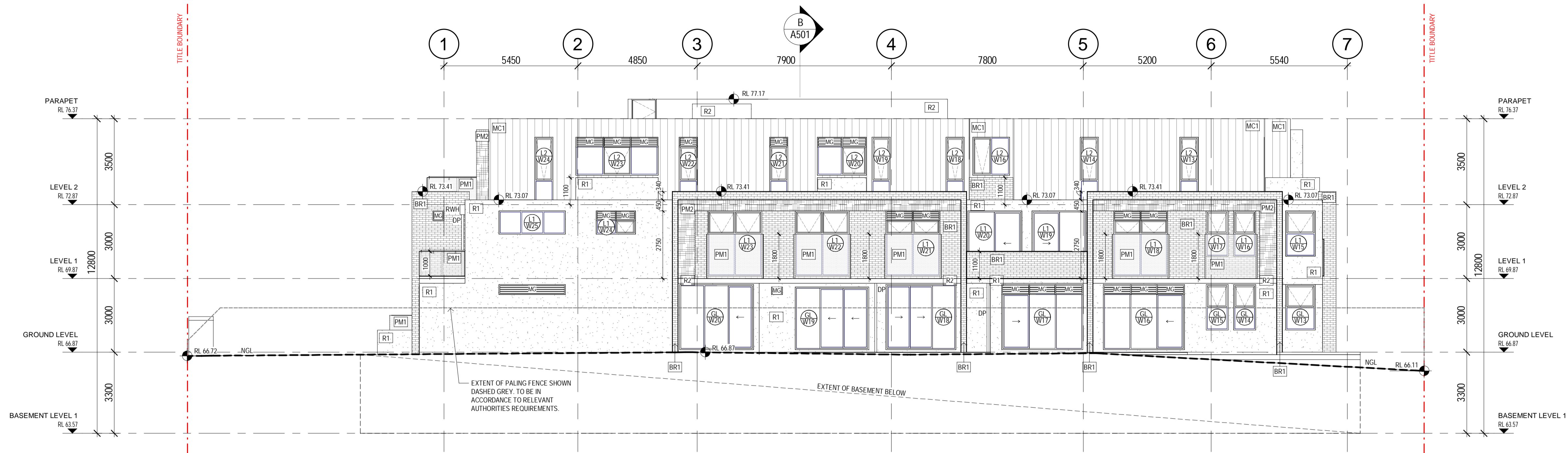
545 King Street West Melbourne 3003
t : 93295988 f : 93294707
e : info@pointarc.com.au



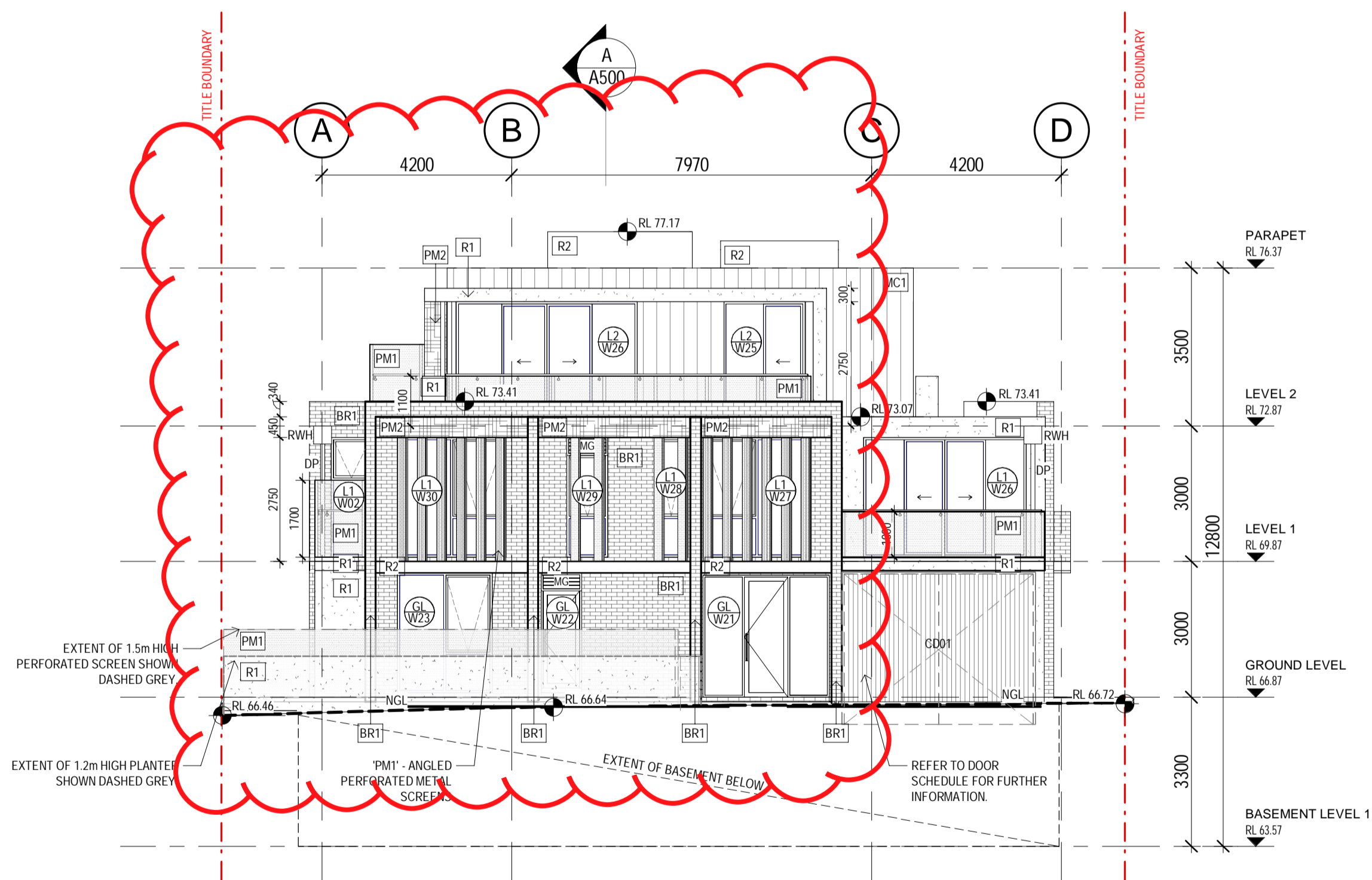
PRELIMINARY

ALL DIMENSIONS MUST BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF ANY WORK OR ESTABLISHMENTS OF ANY SHOP DRAWINGS. FIGURED DIMENSIONS MUST TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL SCALED DIMENSIONS MUST BE VERIFIED ON SITE. THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT.

PROJECT	TITLE	DRAWN	SCALE	PLOT DATE	JOB No.
APARTMENT BUILDING 437 CAMBERWELL ROAD, CAMBERWELL	ELEVATIONS 1	AK / JP	1 : 100 @ A1	13/11/2020 14:44:18	1051
				DWG No	REVISION
				A400	P5



01 SOUTH ELEVATION
A401 SCALE 1 : 100



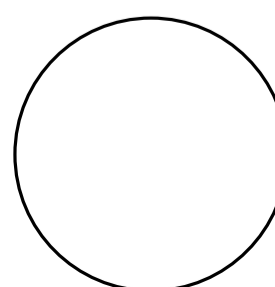
02 WEST ELEVATION (CAMBERWELL RD)
A401 SCALE 1 : 100

LEGEND		GENERAL NOTES
EXTERNAL FINISHES		<p>ALL ARCHITECTURAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH TOWN PLANNING CONDITIONS AND ALL OTHER CONSULTANTS DOCUMENTATION (STRUCTURAL, MECHANICAL, HYDRAULIC, ELECTRICAL AND CIVIL ENGINEERS). ARCHITECT TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.</p> <p>ARCHITECTURAL DRAWINGS TO BE READ IN CONJUNCTION WITH FINISHES & FITTINGS SCHEDULE.</p> <p>DRAWING TO BE READ IN CONJUNCTION WITH WINDOW SCHEDULE AND WALL TYPES. ARCHITECT TO BE NOTIFIED OF ANY DISCREPANCIES IMMEDIATELY.</p> <p>SELECTED POWDERCOAT FINISH TO MECHANICAL GRILLES TO MATCH FINISH TO MATCH SURROUNDING WALL FINIS.</p> <p>ALL GLAZING TO BE INSTALLED IN ACCORDANCE WITH AS 1288 AND ESD REPORT.</p> <p>ALL WINDOWS TO BE INSTALLED IN ACCORDANCE WITH AS 2047.</p> <p>ALL EXHAUSTIVE MECHANICAL VENTILATION TO BATHROOMS AND LAUNDRIES TO COMPLY WITH AS 1468.2.</p> <p>MATERIALS, SPECIFICATIONS AND FIXING DETAILS FOR FACADE LOUVRES AND FACADE WINDOW FEATURE FRAMES ARE TO BE CONFIRMED BY THE CLIENT.</p> <p>STRUCTURAL ENGINEERS TO PROVIDE RECESSED STITCH PLATES IN SLAB FOR LOUVER FININGS. REFER TO SLAB SET OUT PLANS AND LOUVER SCHEDULE FOR LOCATIONS.</p>
BR1	BRICKS COLOUR: 'ALTITUDE OLYMPUS' TYPE: PGH BRICKS	
MC1	METAL CLADDING COLOUR: 'COLORBOND WINDSPRAY' TYPE: LYSAGHT COLORBOND STANDING SEAM STEEL (VERTICAL DIRECTION)	
R1	RENDER FINISH 1 COLOUR: 'DULUX TAHAPE' TYPE: SMOOTH	
R2	RENDER FINISH 2 COLOUR: 'DULUX CHARCOAL LIGHT' TYPE: SMOOTH	
PM1	PERFORATED METAL SCREEN 1 COLOUR: POWDERCOATED INTERPON SABLE CORE TEN TYPE: LOCKER GROUP PIC PERFC CUSTOM ORGANIC PATTERN WITH AXIOM GROUP FRAMING SYSTEM NOTE: MAX 5% VISUAL PERMEABILITY	
PM2	PERFORATED METAL SCREEN 2 COLOUR: POWDERCOATED INTERPON SABLE CORE TEN TYPE: LOCKER GROUP PIC PERFC CUSTOM ORGANIC PATTERN RELIEF WITH AXIOM GROUP FRAMING SYSTEM NOTE: MAX 5% VISUAL PERMEABILITY	
DP	DOWN PIPE COLOUR: FINISH TO MATCH SURROUND	
RWH	RAIN WATER HEAD COLOUR: FINISH TO MATCH SURROUND	
MG	MECHANICAL EXHAUST GRILLE REFER TO MECH ENGINEERS DRAWINGS	
NGL	NATURAL GROUND LEVEL. REFER TO SURVEY FOR FURTHER INFORMATION.	
W200	WINDOW NUMBERING	
ALUMINUM DOOR AND WINDOW FRAMES	ALUMINUM DOOR AND WINDOW FRAMES POWDER COAT FINISH DULUX NIGHT SKY	

REV	DESCRIPTION	DRN	CHK	DATE
P1	PRELIMINARY ISSUE	AK	AK	07.08.2020
P2	PRELIMINARY ISSUE	AK	AK	27.08.2020
P3	PRELIMINARY ISSUE	JP	AK	08.09.2020
P4	PRELIMINARY ISSUE	JP	AK	17.09.2020
P5	ISSUE FOR BUILDING PERMIT	AK / JP	AK	13.11.2020

pointarchitects

545 King Street West Melbourne 3003
t : 93295988 f : 93294707
e : info@pointarc.com.au



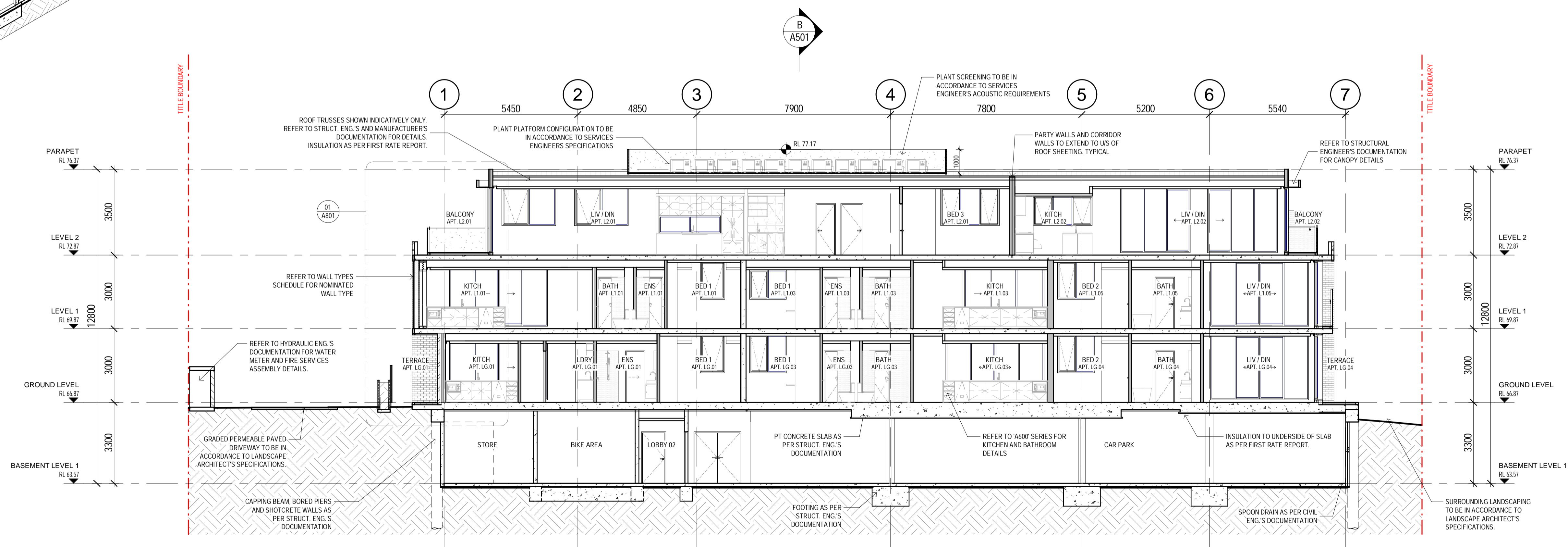
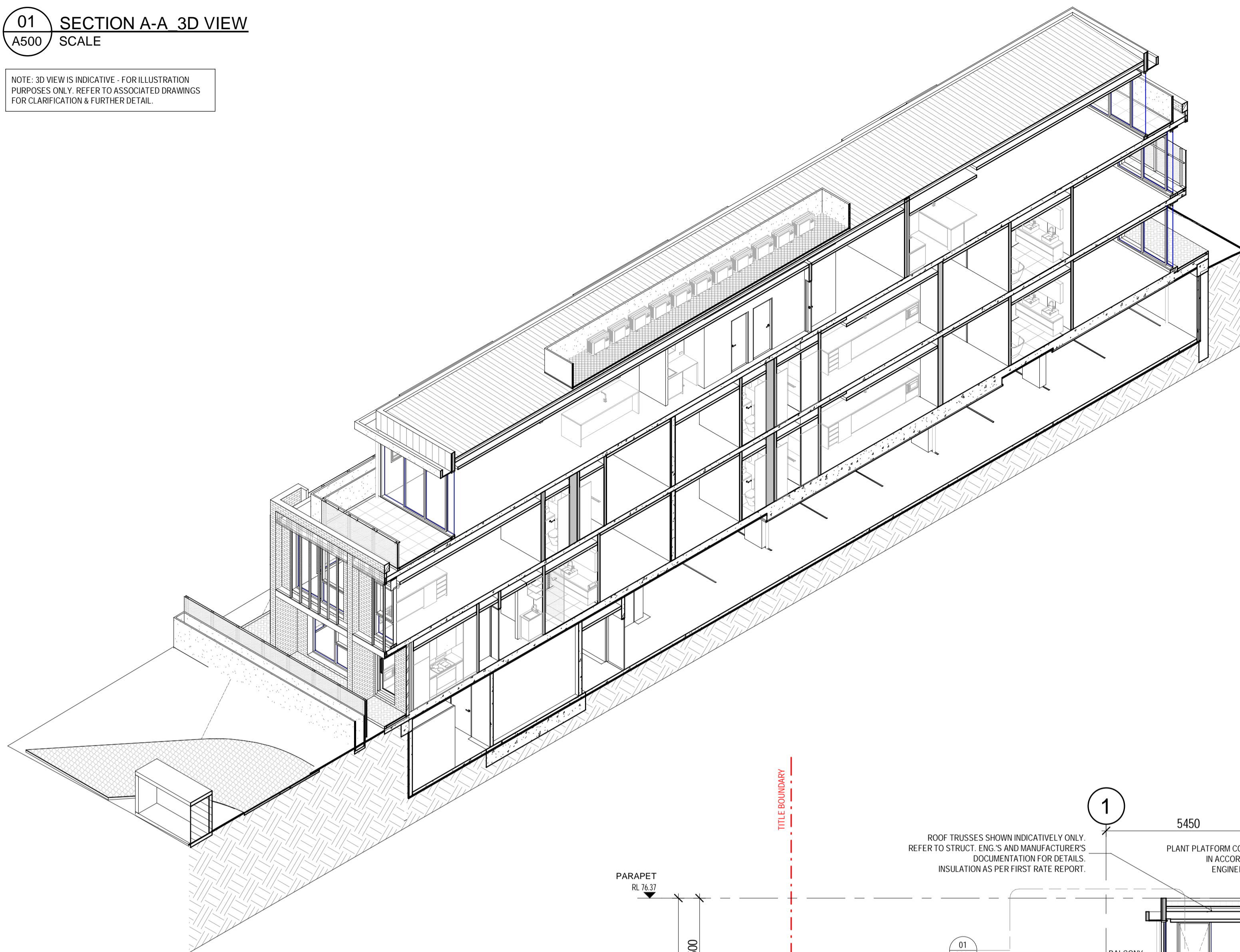
PRELIMINARY

ALL DIMENSIONS MUST BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF ANY WORK OR ESTABLISHMENTS OF ANY SHOP DRAWINGS. FIGURED DIMENSIONS MUST TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL SCALED DIMENSIONS MUST BE VERIFIED ON SITE. THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT.

PROJECT	TITLE	DRAWN	SCALE	PLOT DATE	JOB No.
APARTMENT BUILDING 437 CAMBERWELL ROAD, CAMBERWELL	ELEVATIONS 2	AK / JP	1 : 100 @ A1	13/11/2020 14:44:28	1051
				DWG No	REVISION
				A401	P5

01 SECTION A-A 3D VIEW
A500 SCALE

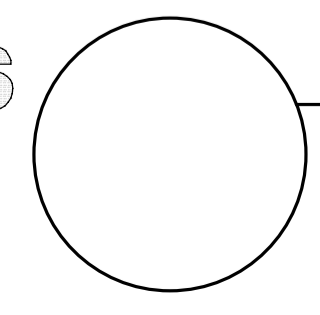
NOTE: 3D VIEW IS INDICATIVE - FOR ILLUSTRATION PURPOSES ONLY. REFER TO ASSOCIATED DRAWINGS FOR CLARIFICATION & FURTHER DETAIL.



A SECTION A-A
A500 SCALE 1 : 100

REV	DESCRIPTION	DRN	CHK	DATE
P1	PRELIMINARY ISSUE	JP	AK	08.09.2020
P2	PRELIMINARY ISSUE	JP	AK	17.09.2020
P3	ISSUE FOR BUILDING PERMIT	AK / JP	AK	13.11.2020

pointarchitects
545 King Street West Melbourne 3003
t : 93295988 f : 93294707
e : info@pointarc.com.au

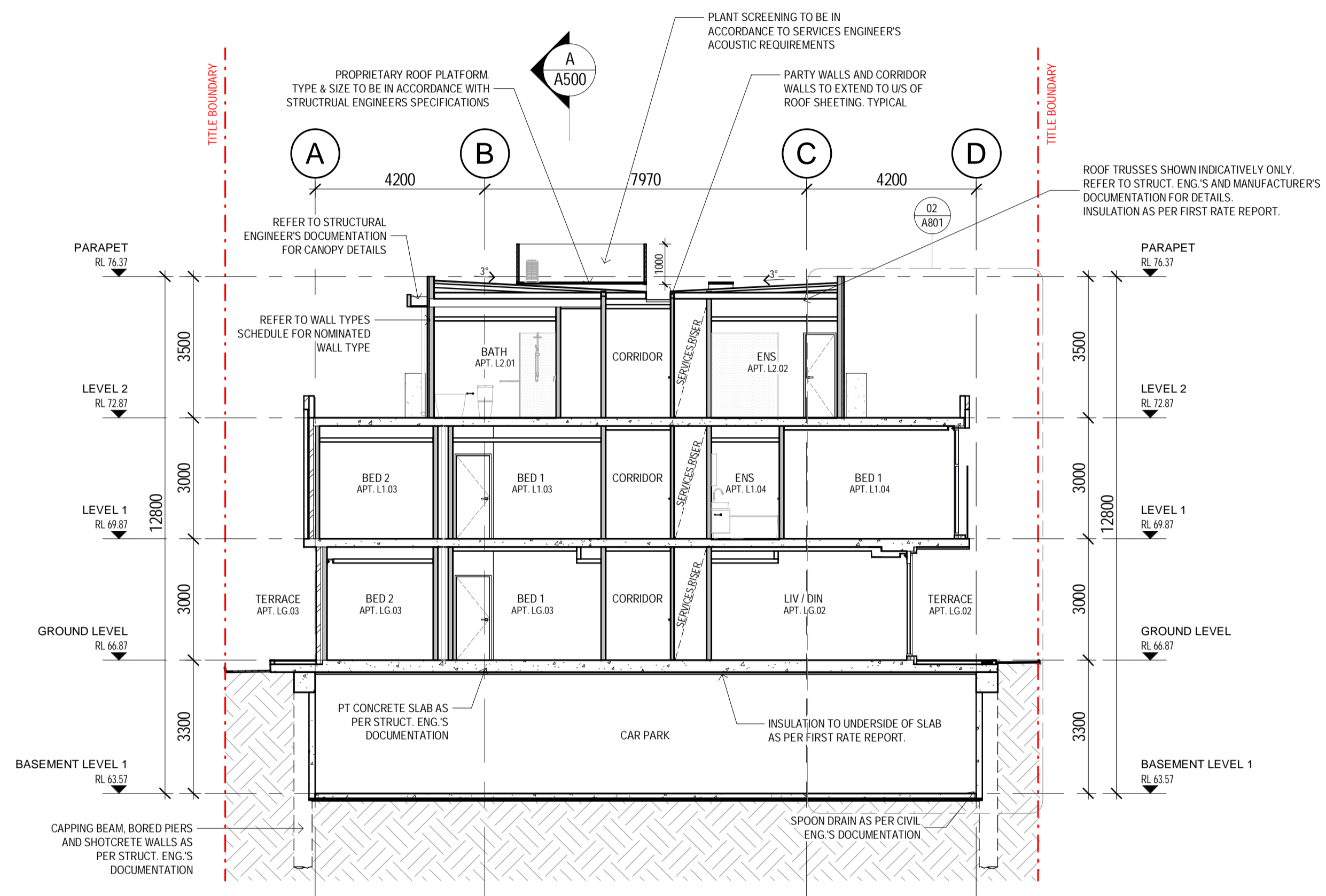


PRELIMINARY
ALL DIMENSIONS MUST BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF ANY WORK OR ESTABLISHMENTS OF ANY SHOP DRAWINGS. FIGURED DIMENSIONS MUST TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL SCALED DIMENSIONS MUST BE VERIFIED ON SITE. THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT.

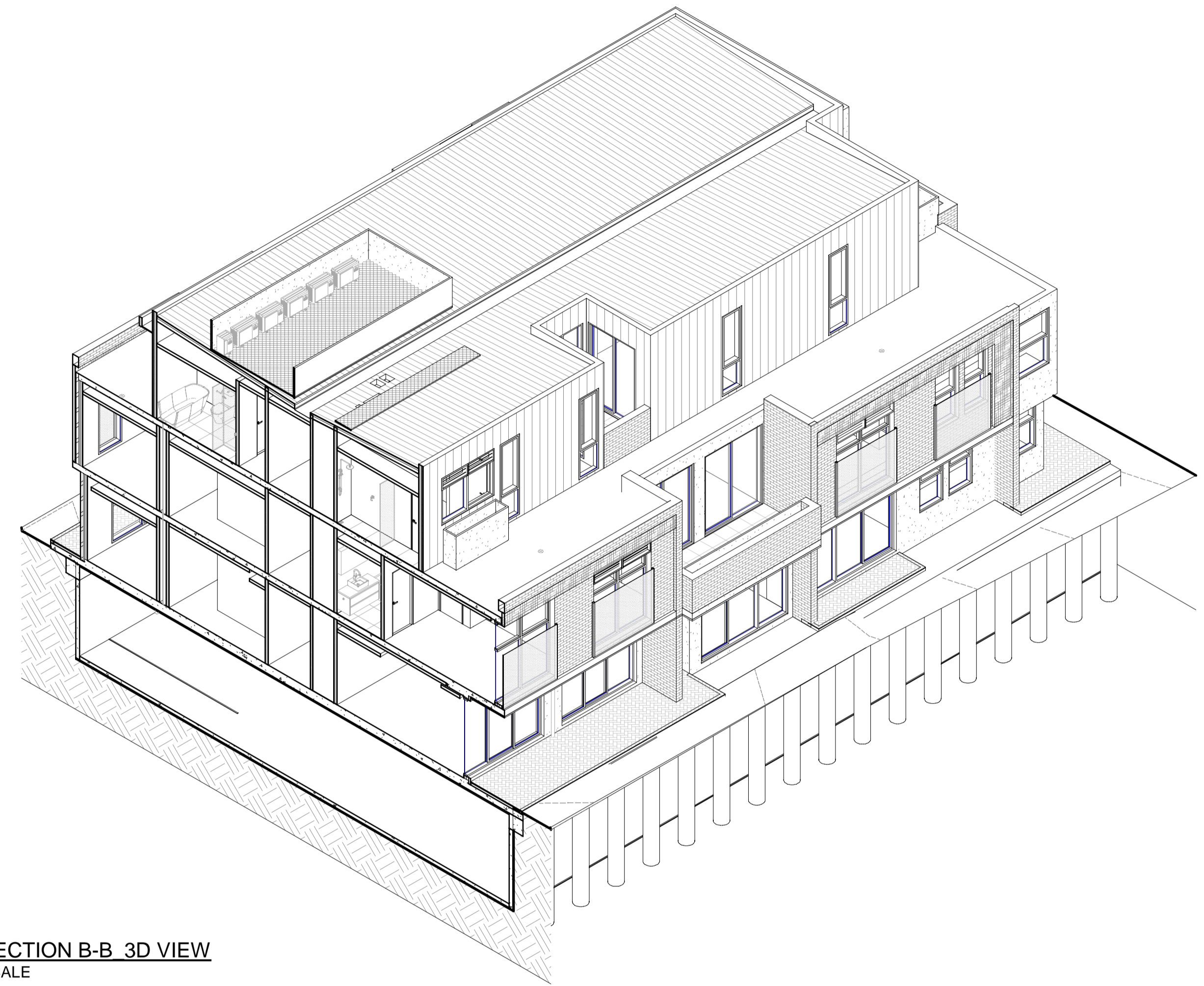
PROJECT
APARTMENT BUILDING
437 CAMBERWELL ROAD,
CAMBERWELL

TITLE
SECTION A-A

DRAWN SCALE PLOT DATE JOB No.
AK / JP 1 : 100 13/11/2020 1051
@ A1 14:44:37
DWG No REVISION
A500 P3



B SECTION B-B
A501 SCALE 1 : 100



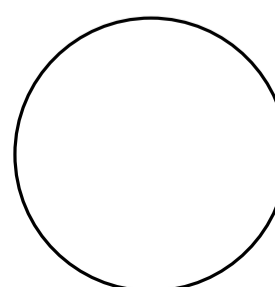
01 SECTION B-B 3D VIEW
A501 SCALE

NOTE: 3D VIEW IS INDICATIVE - FOR ILLUSTRATION PURPOSES ONLY. REFER TO ASSOCIATED DRAWINGS FOR CLARIFICATION & FURTHER DETAIL.

REV	DESCRIPTION	DRN	CHK	DATE
P1	PRELIMINARY ISSUE	JP	AK	08.09.2020
P2	PRELIMINARY ISSUE	JP	AK	17.09.2020
P3	ISSUE FOR BUILDING PERMIT	AK / JP	AK	13.11.2020

pointarchitects

545 King Street West Melbourne 3003
t : 93295988 f : 93294707
e : info@pointarc.com.au



PRELIMINARY

ALL DIMENSIONS MUST BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF ANY WORK OR ESTABLISHMENTS OF ANY SHOP DRAWINGS. FIGURED DIMENSIONS MUST TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL SCALED DIMENSIONS MUST BE VERIFIED ON SITE. THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT.

PROJECT

APARTMENT BUILDING
437 CAMBERWELL ROAD,
CAMBERWELL

TITLE

SECTION B-B

DRAWN

AK / JP

SCALE

1 : 100
@ A1

PLOT DATE

13/11/2020
14:44:43

JOB No.

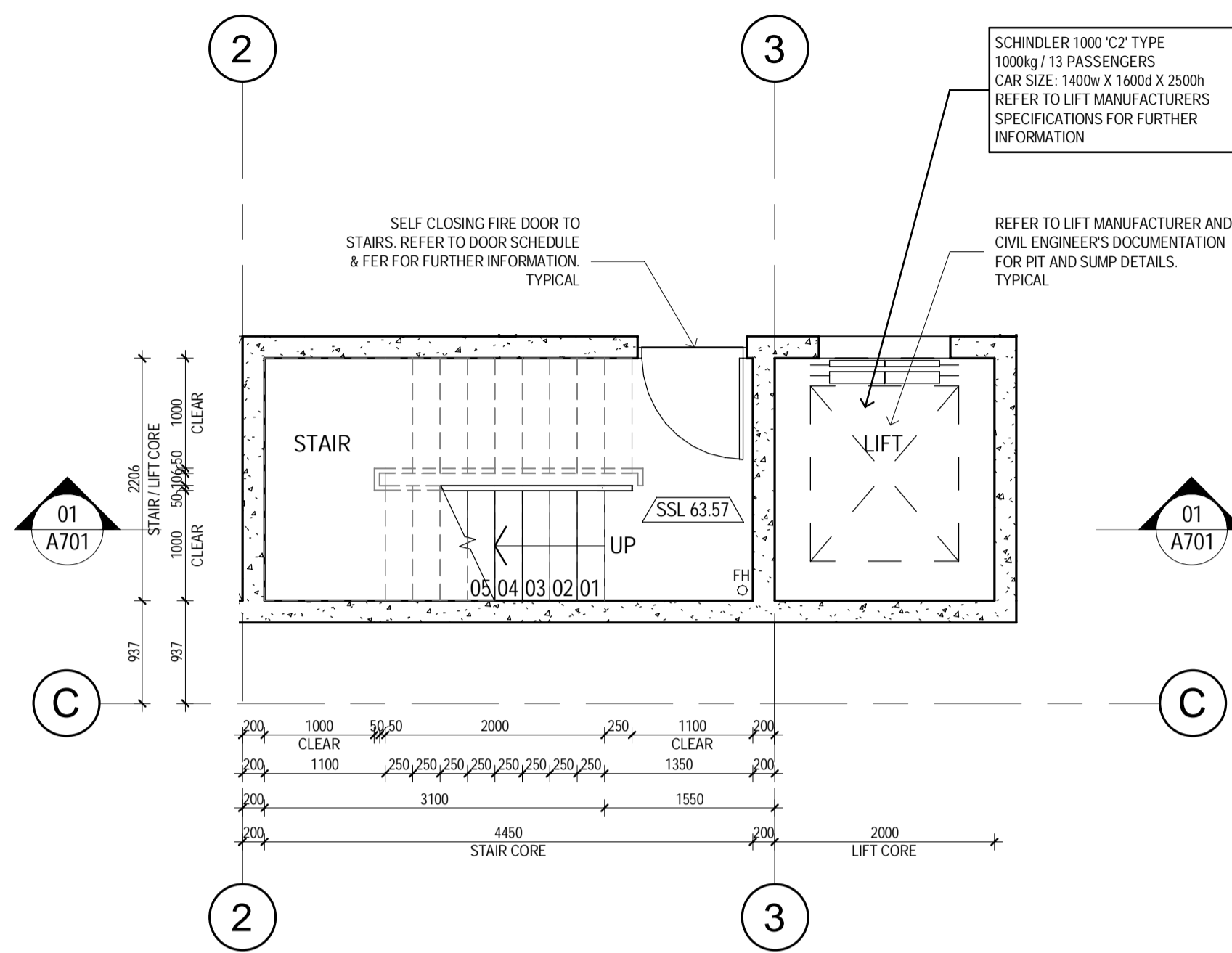
1051

DWG No

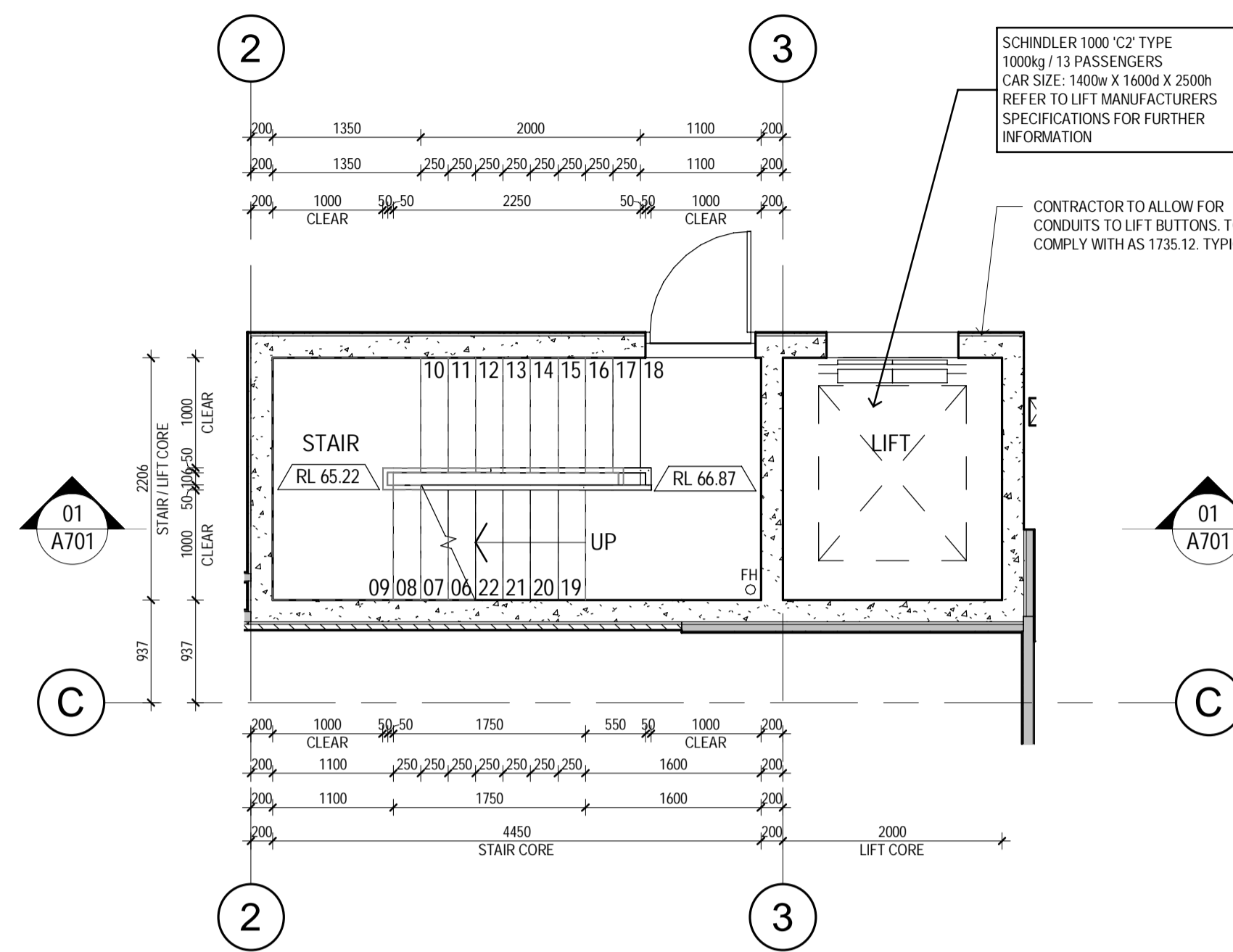
A501

REVISION

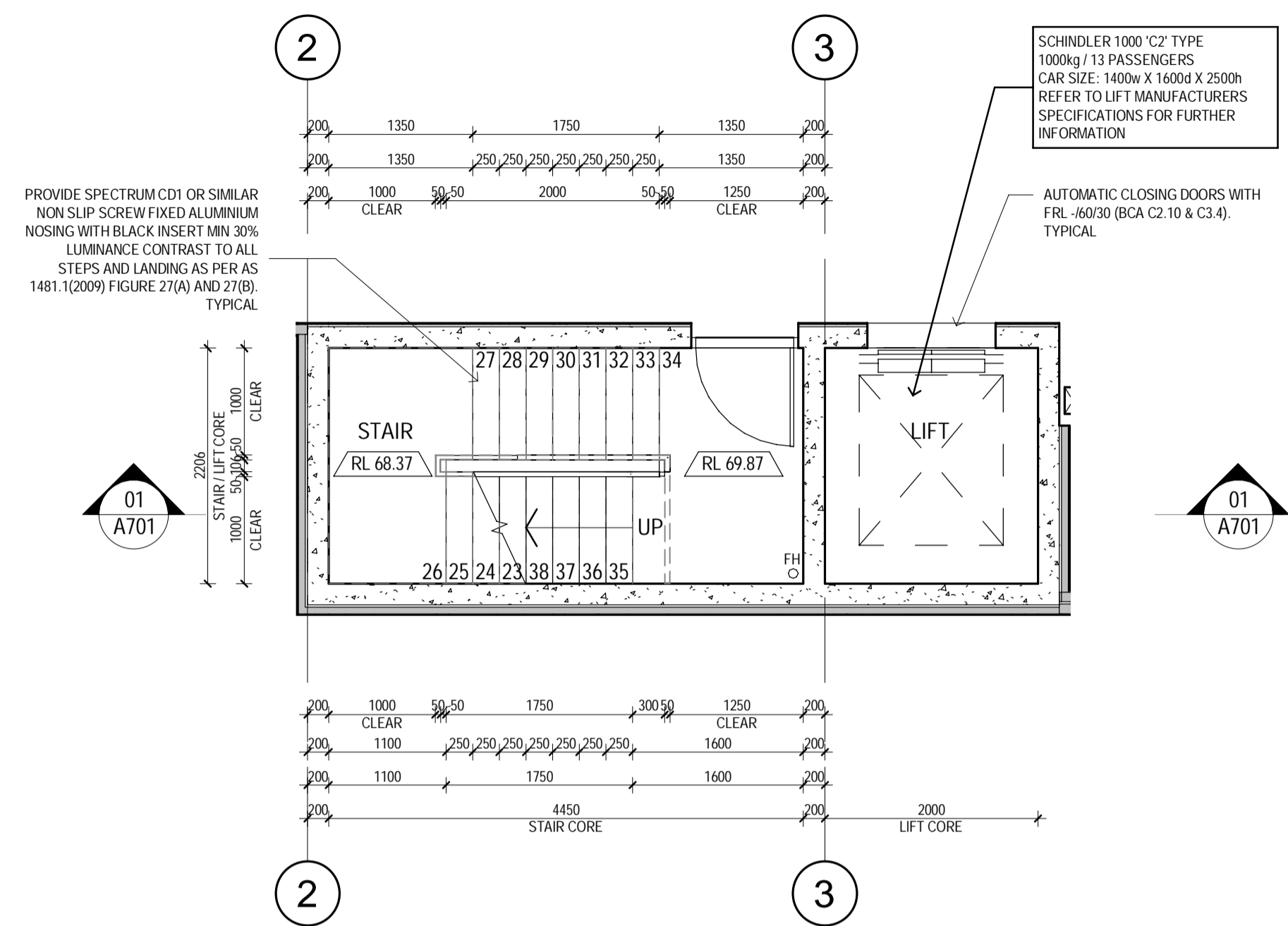
P3



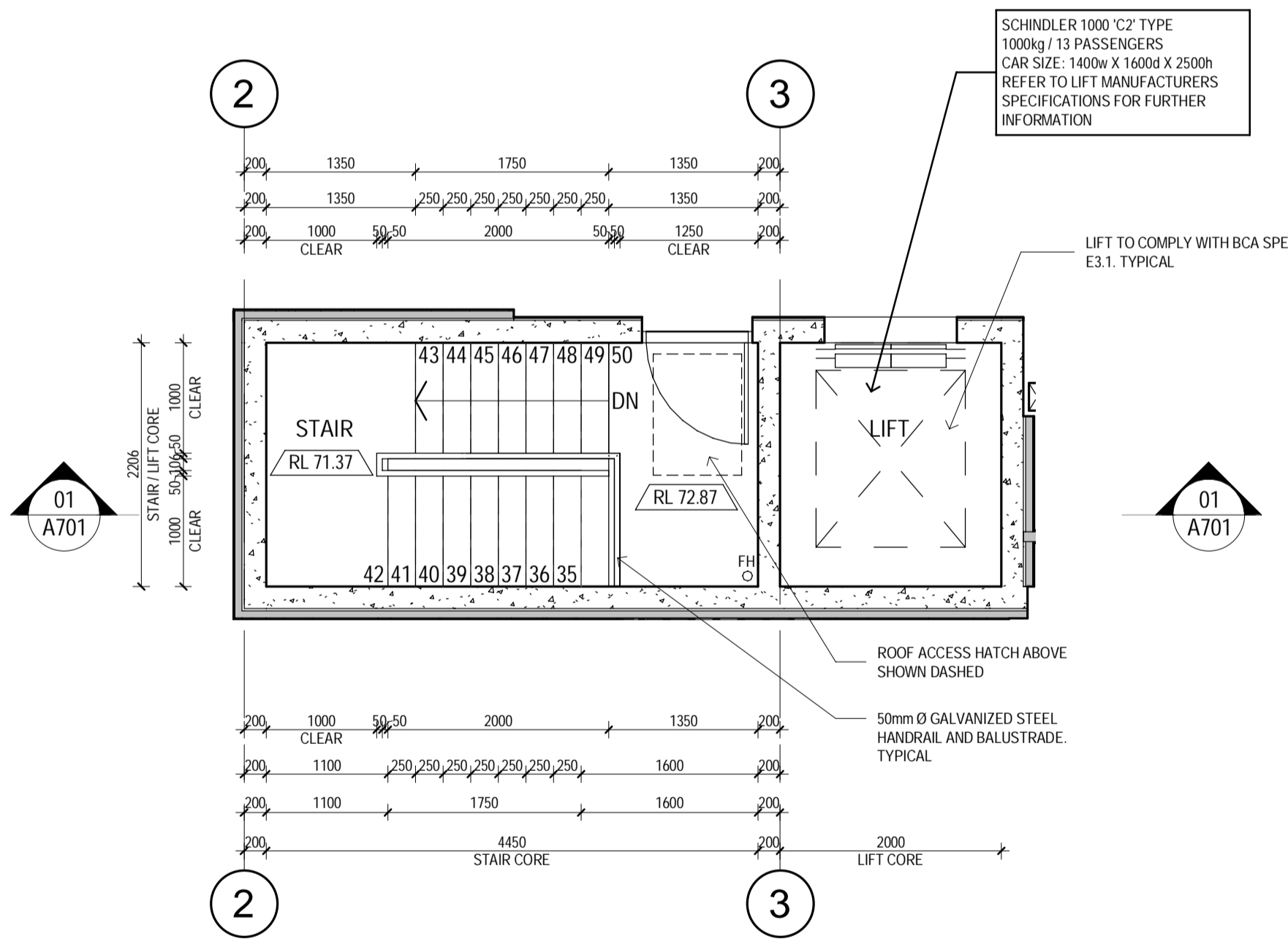
01 STAIR & LIFT CORE PLAN DETAIL - BASEMENT LEVEL
A700 SCALE 1 : 50



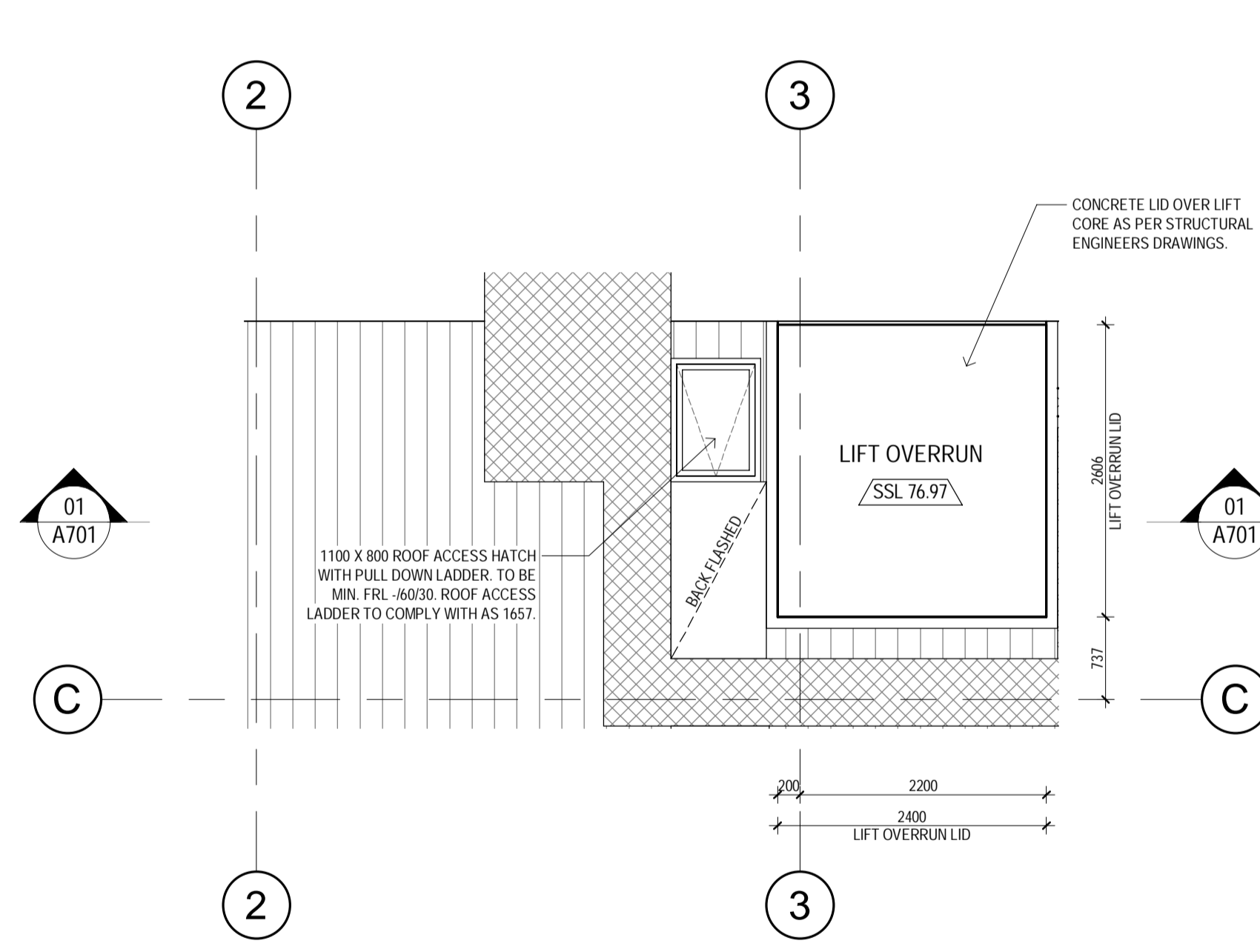
02 STAIR & LIFT CORE PLAN DETAIL - GROUND LEVEL
A700 SCALE 1 : 50



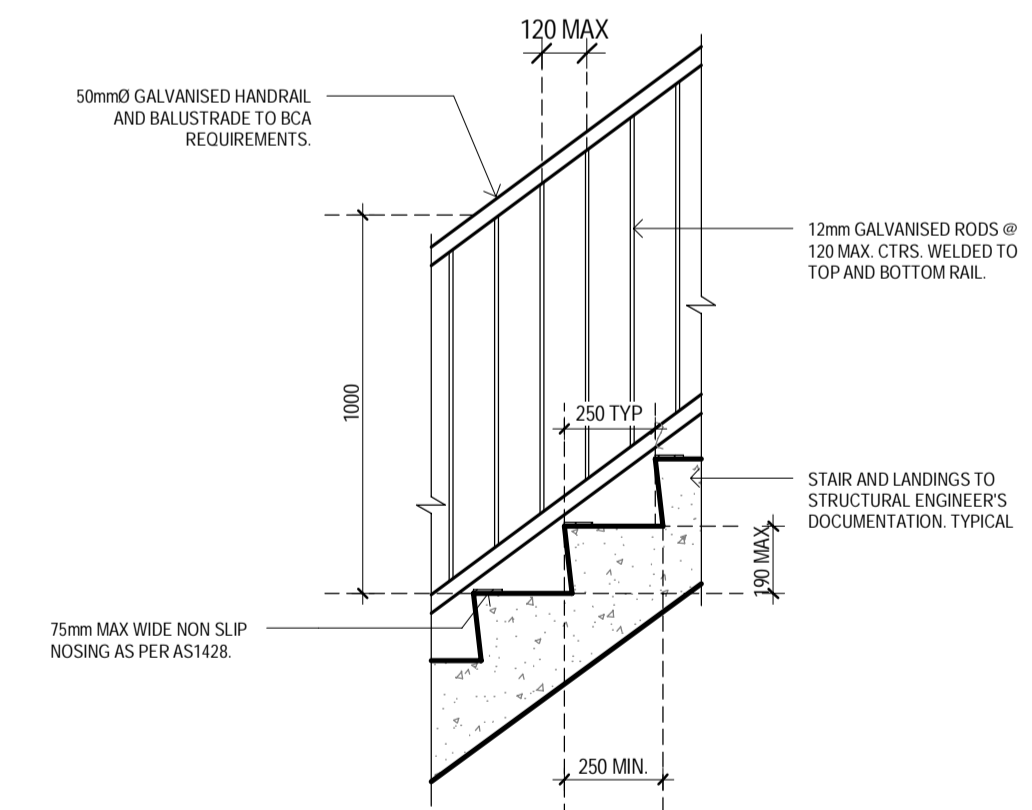
03 STAIR & LIFT CORE PLAN DETAIL - FIRST LEVEL
A700 SCALE 1 : 50



04 STAIR & LIFT CORE PLAN DETAIL - SECOND LEVEL
A700 SCALE 1 : 50



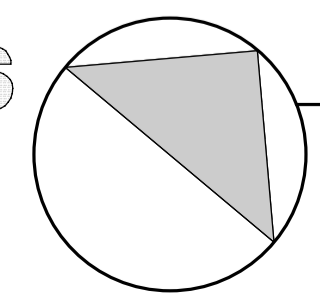
05 STAIR & LIFT CORE PLAN DETAIL - ROOF LEVEL
A700 SCALE 1 : 50



06 TYP STAIR BALUSTRADE DETAIL
A700 SCALE 1 : 20

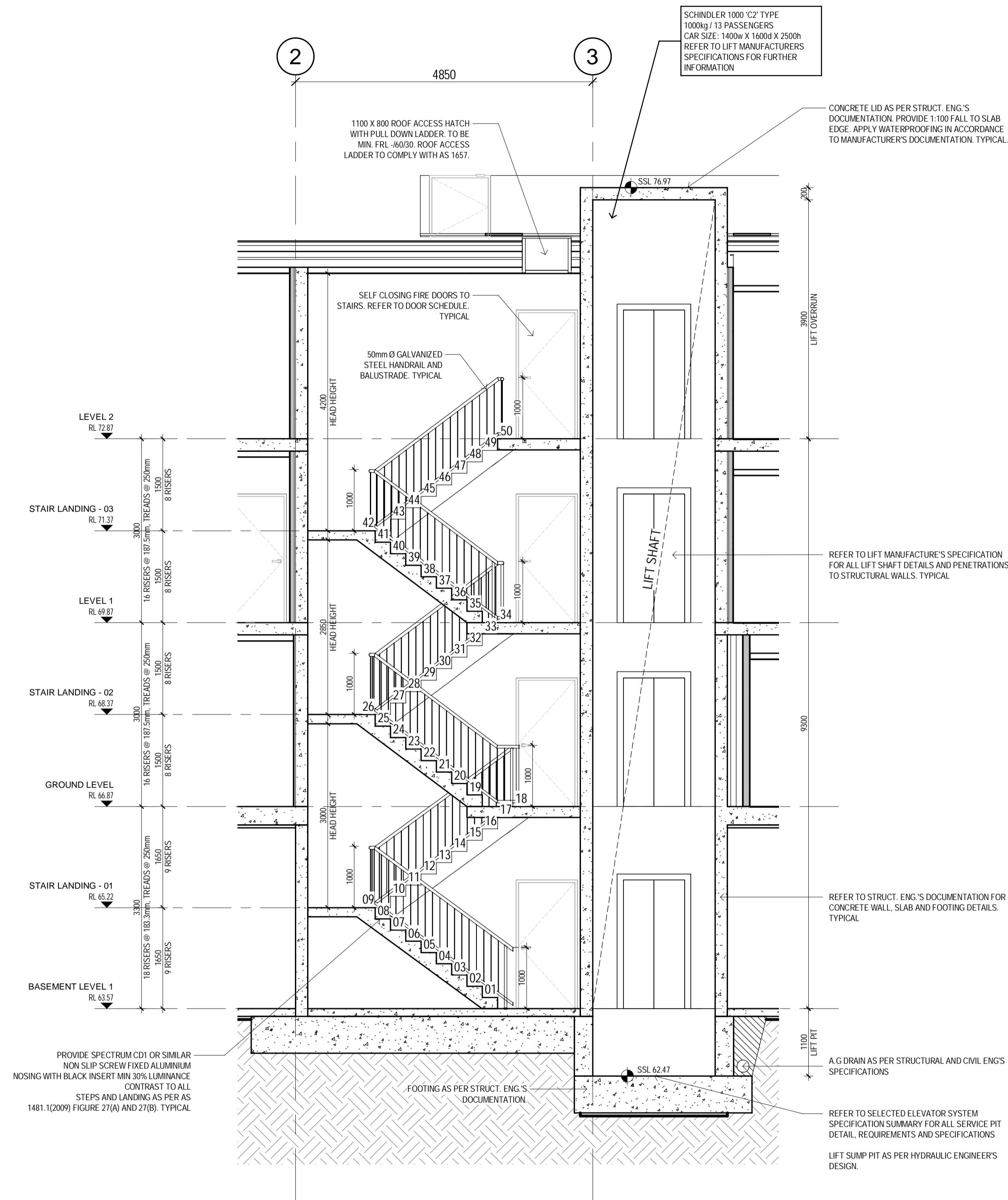
REV	DESCRIPTION	DRN	CHK	DATE
P1	PRELIMINARY ISSUE	JP	AK	17.09.2020
P2	ISSUE FOR BUILDING PERMIT	AK / JP	AK	13.11.2020

pointarchitects
545 King Street West Melbourne 3003
t : 93295988 f : 93294707
e : info@pointarc.com.au

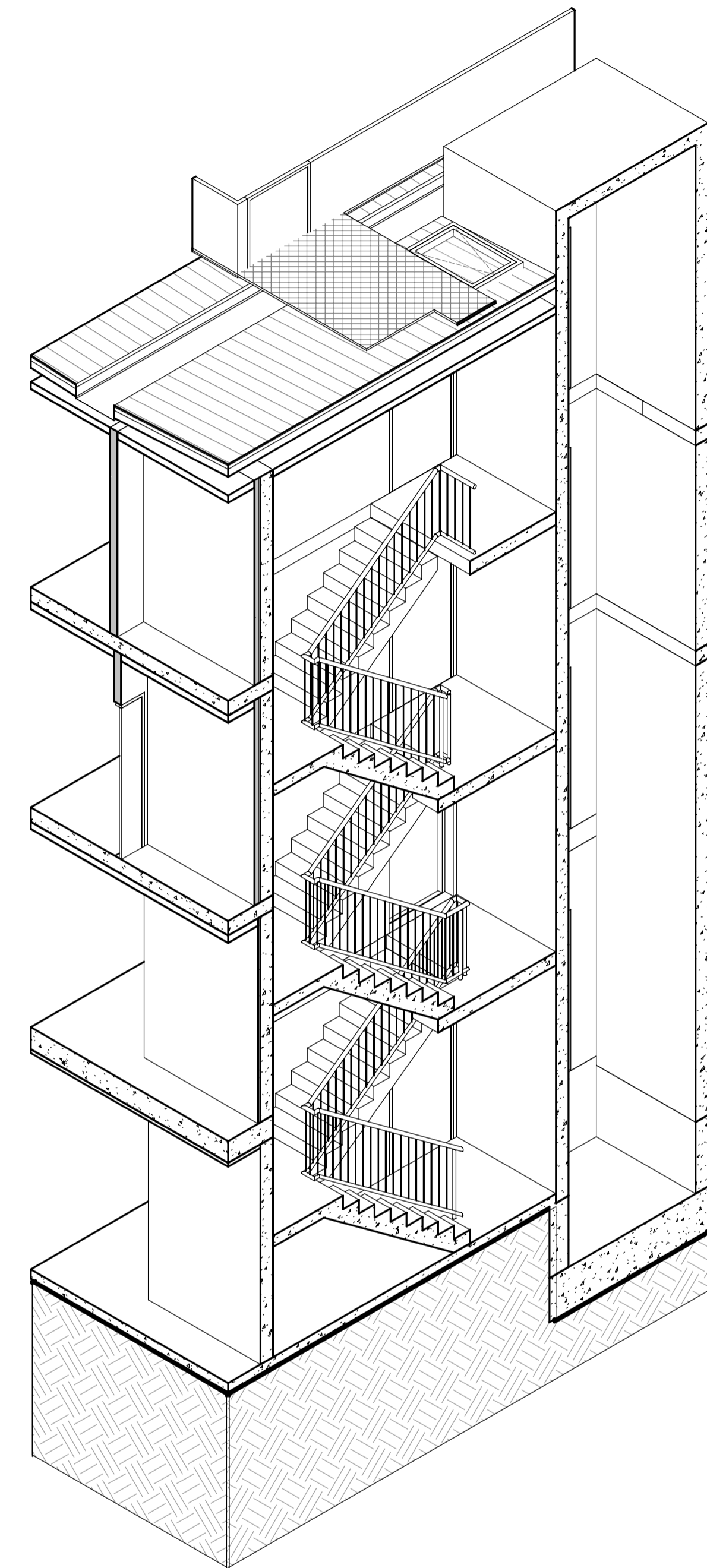


PRELIMINARY
ALL DIMENSIONS MUST BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF ANY WORK OR ESTABLISHMENTS OF ANY SHOP DRAWINGS. FIGURED DIMENSIONS MUST TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL SCALED DIMENSIONS MUST BE VERIFIED ON SITE. THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT.

PROJECT	TITLE	DRAWN	SCALE	PLOT DATE	JOB No.
APARTMENT BUILDING 437 CAMBERWELL ROAD, CAMBERWELL	STAIR AND LIFT DETAIL PLANS	JP	As indicated @ A1	13/11/2020 14:44:46 DWG No	1051 REVISION P2



01 STAIR & LIFT CORE SECTION DETAIL
A701 SCALE 1 : 50



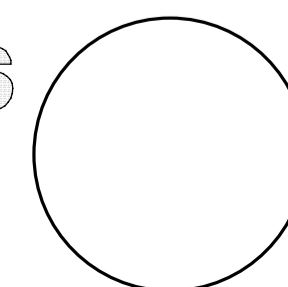
02 STAIR & LIFT CORE 3D SECTION DETAIL
A701 SCALE

NOTE: 3D VIEW IS INDICATIVE - FOR ILLUSTRATION PURPOSES ONLY. REFER TO ASSOCIATED DRAWINGS FOR CLARIFICATION & FURTHER DETAIL.

REV	DESCRIPTION	DRN	CHK	DATE
P1	PRELIMINARY ISSUE	JP	AK	17.09.2020
P2	ISSUE FOR BUILDING PERMIT	AK / JP	AK	13.11.2020

pointarchitects

545 King Street West Melbourne 3003
t : 93295988 f : 93294707
e : info@pointarc.com.au



PRELIMINARY

ALL DIMENSIONS MUST BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF ANY WORK OR ESTABLISHMENTS OF ANY SHOP DRAWINGS. FIGURED DIMENSIONS MUST TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL SCALED DIMENSIONS MUST BE VERIFIED ON SITE. THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT.

PROJECT

APARTMENT BUILDING
437 CAMBERWELL ROAD,
CAMBERWELL

TITLE

STAIR AND LIFT
SECTION DETAILS

DRAWN

JP

SCALE

As
indicated
@ A1

PLOT DATE

13/11/2020
14:44:49

JOB No.

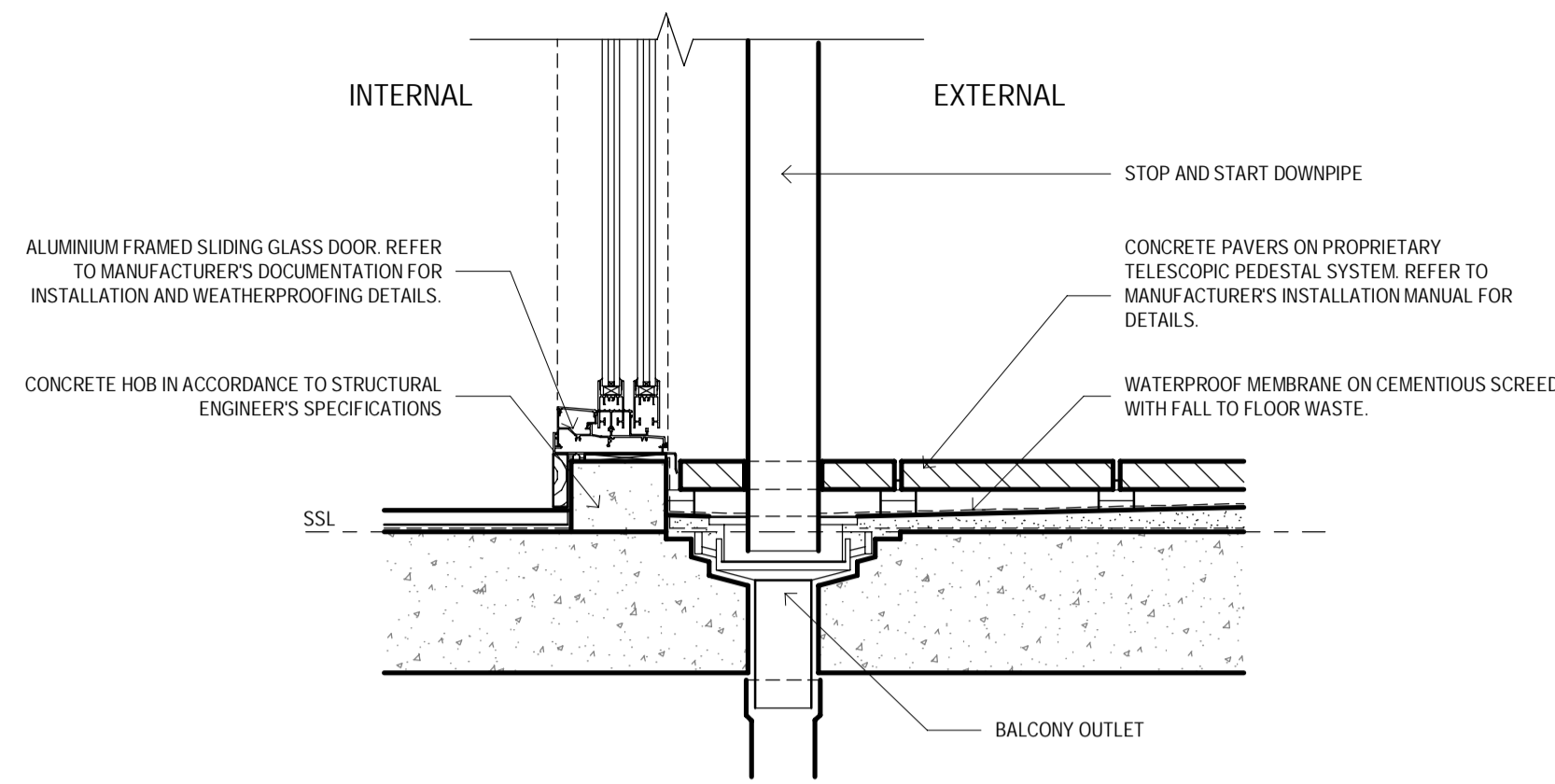
1051

REVISION

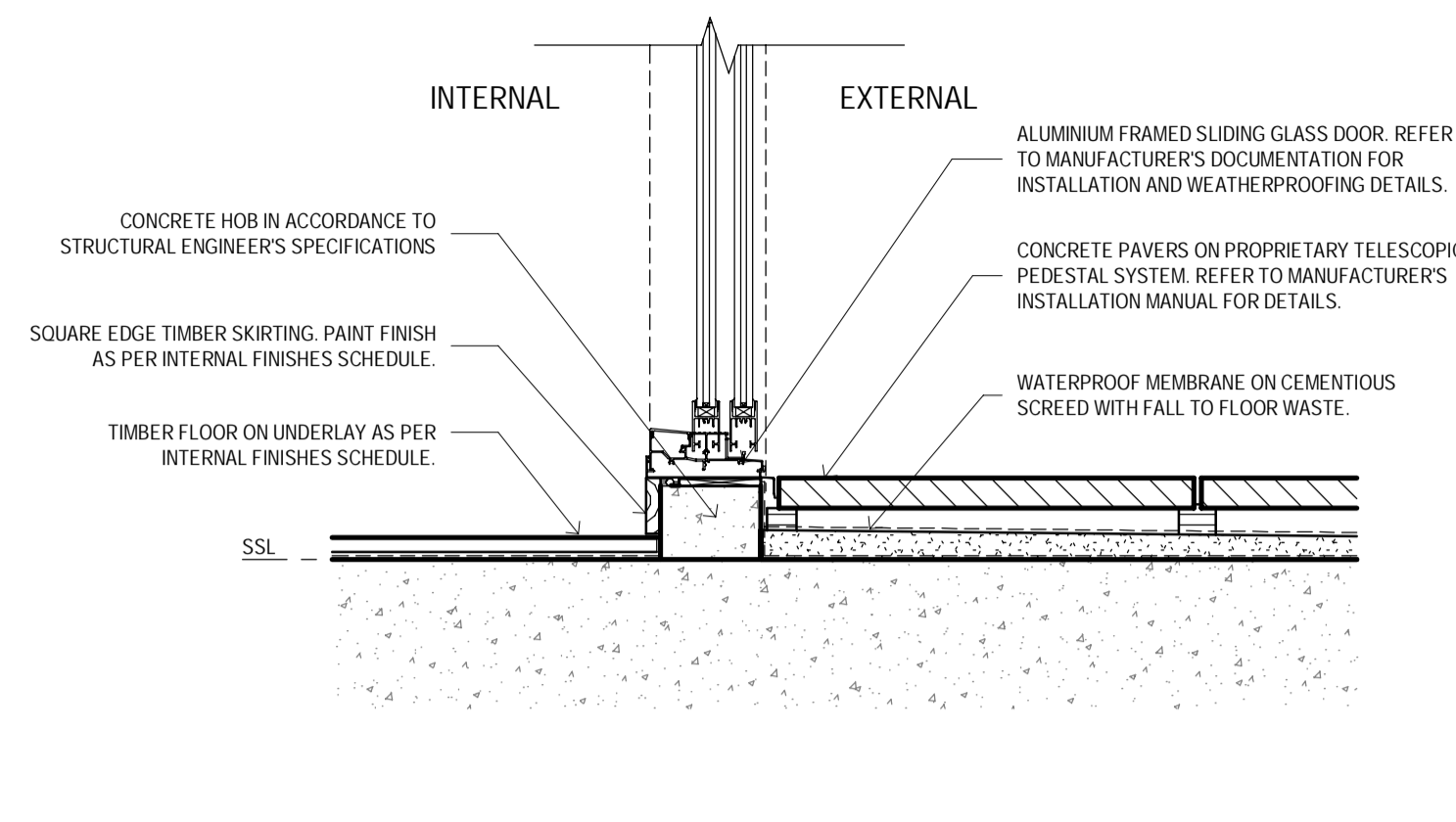
P2

DWG No

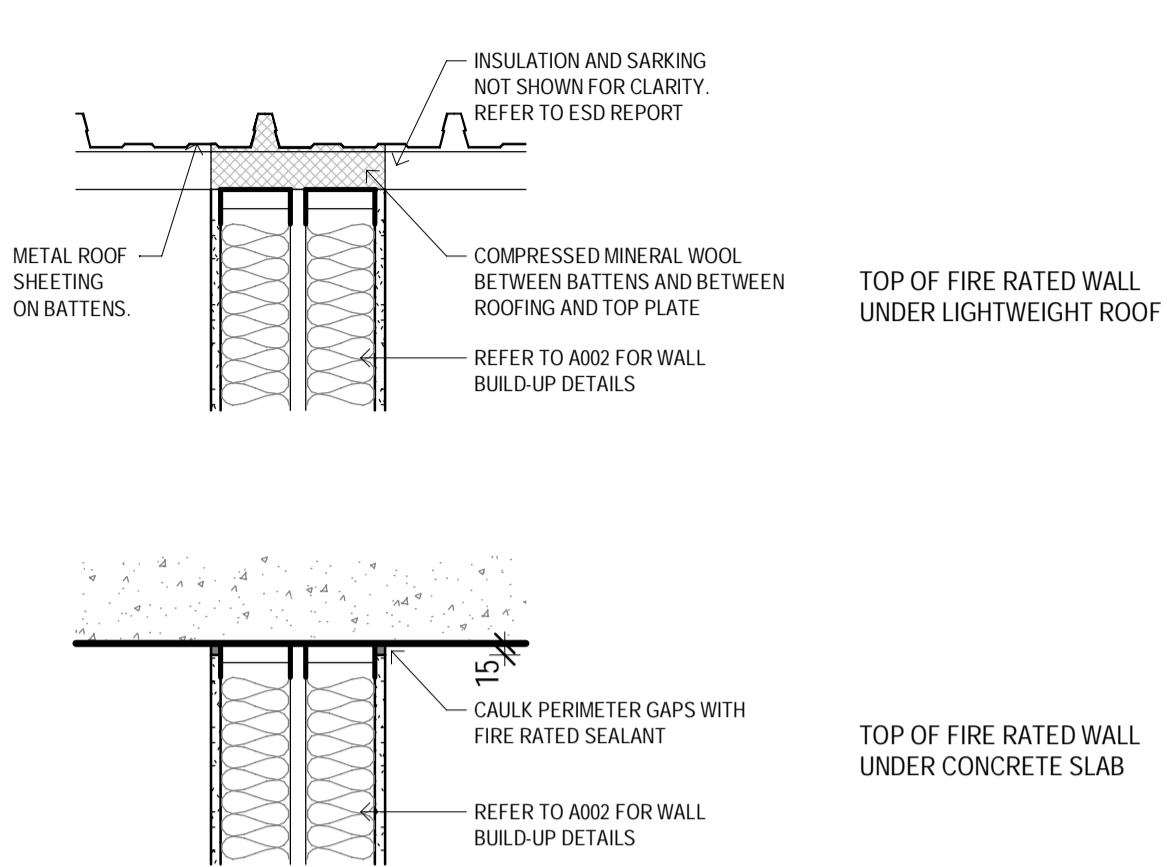
A701



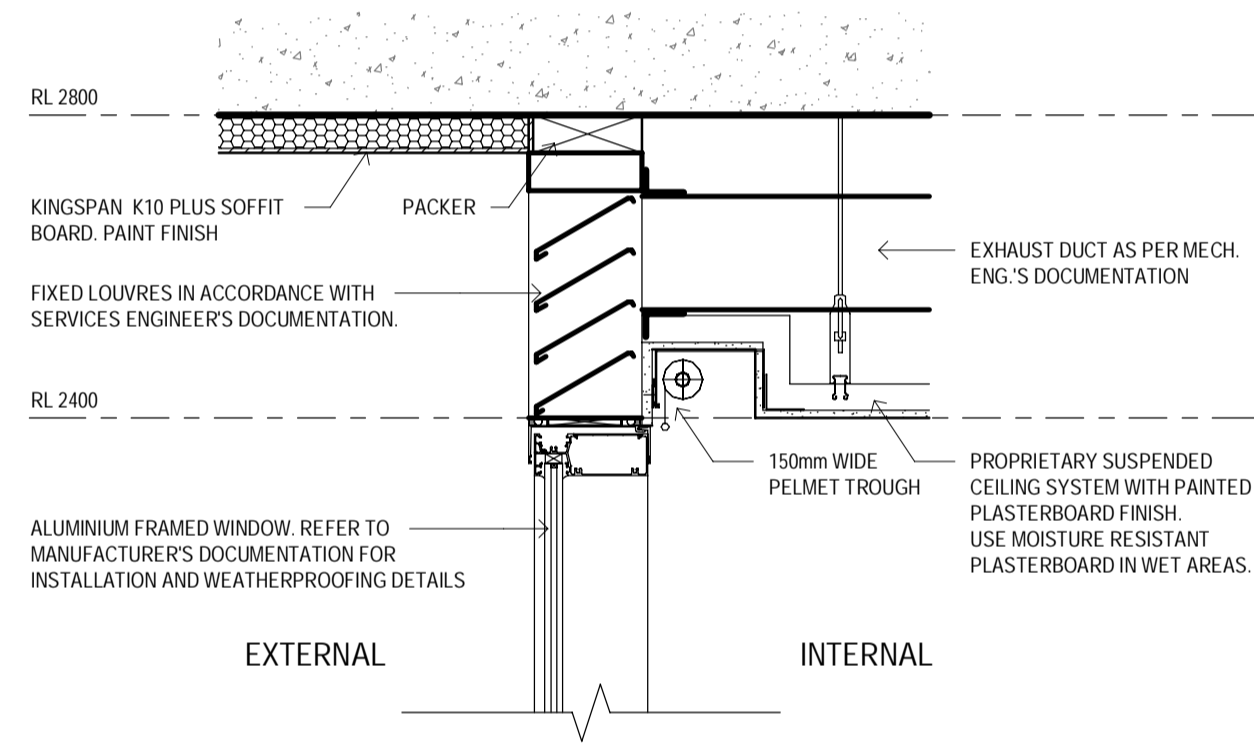
01 TYPICAL DOWNPIPE / FLOOR WASTE BALCONY DETAIL
A800 SCALE 1 : 10



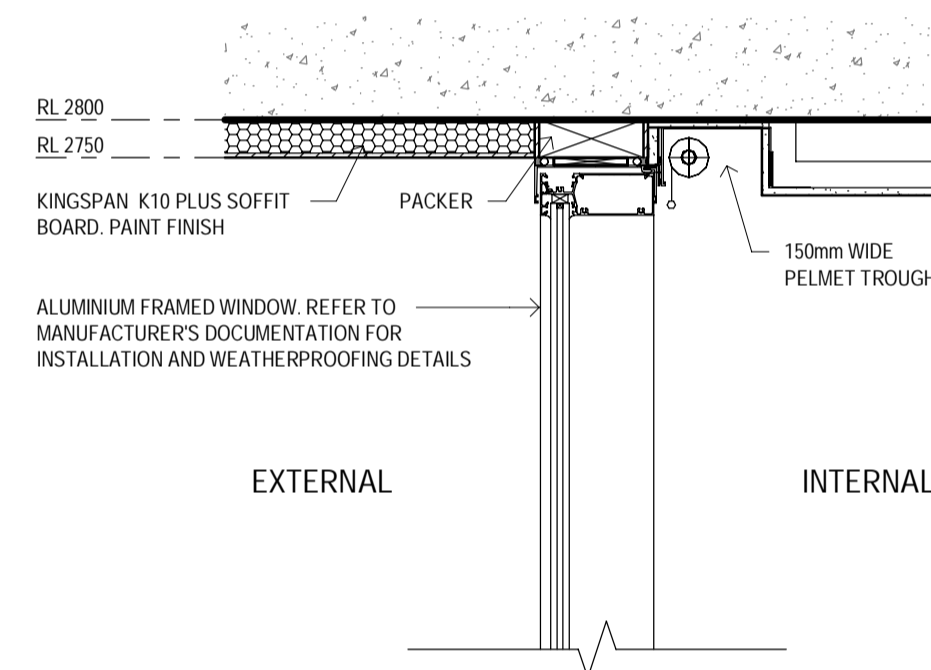
02 TYPICAL TERRACE DOOR DETAIL
A800 SCALE 1 : 10



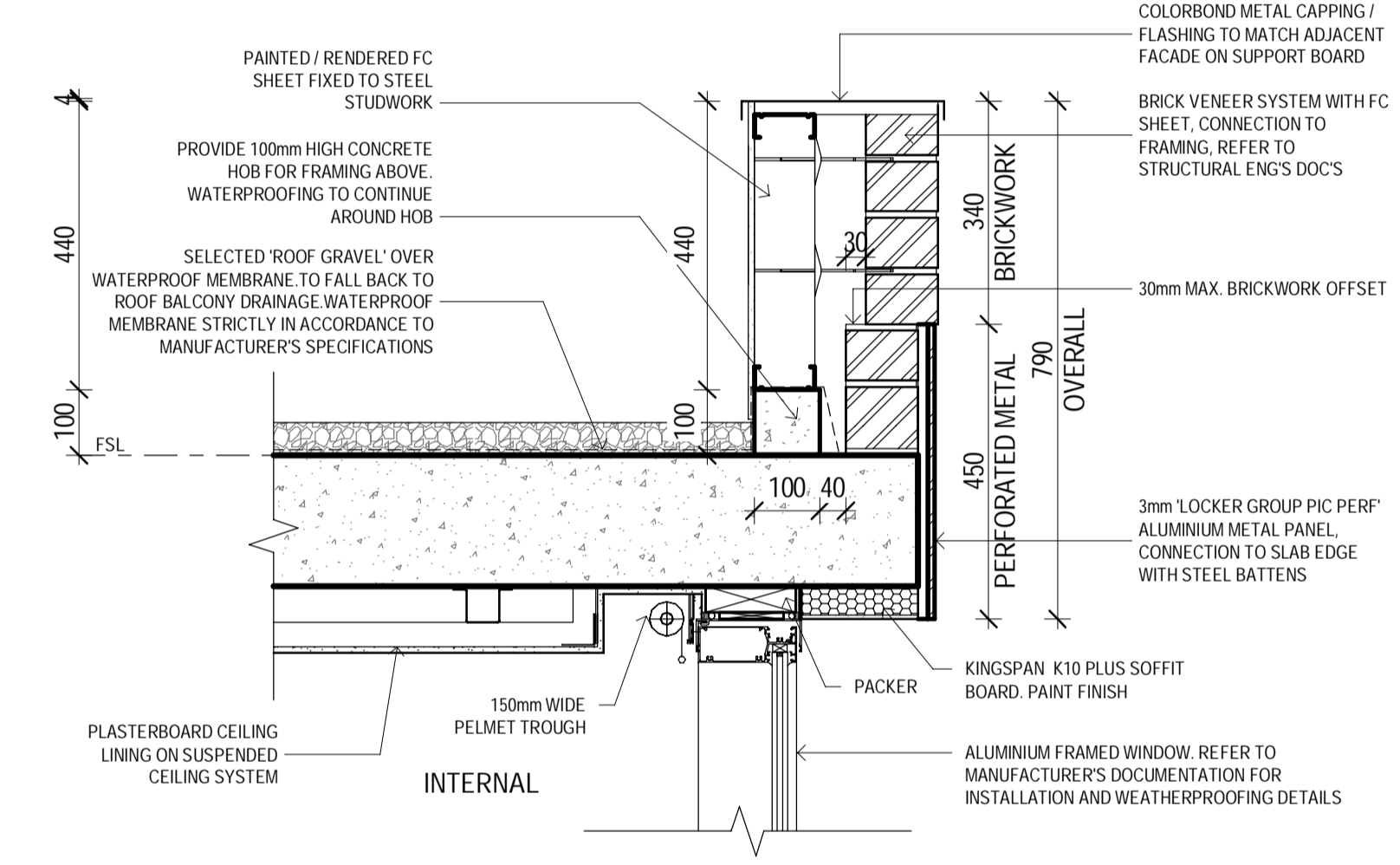
10 PARTYWALL DETAIL
A800 SCALE 1 : 10



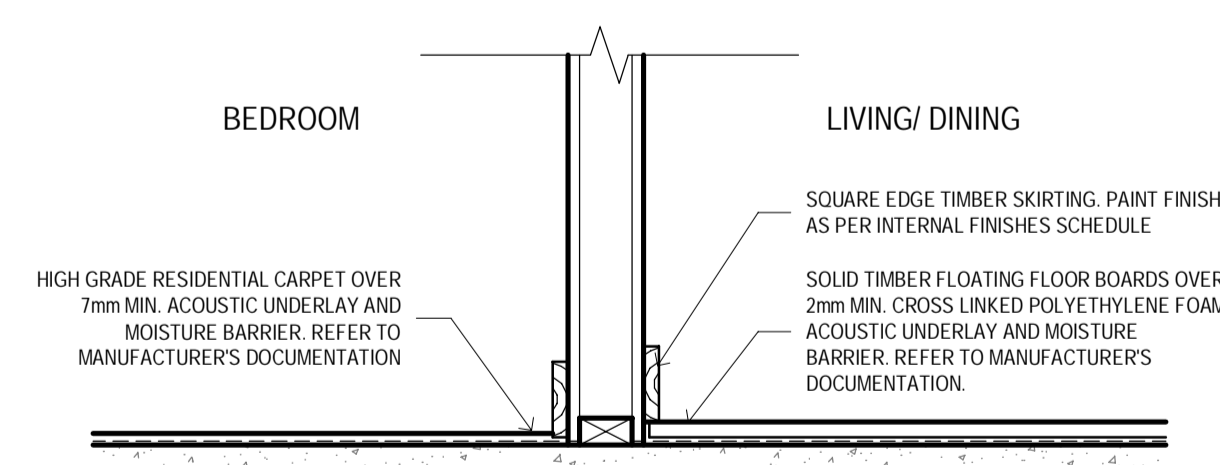
03 TYPICAL WINDOW HEAD DETAIL 2400 CEILING
A800 SCALE 1 : 10



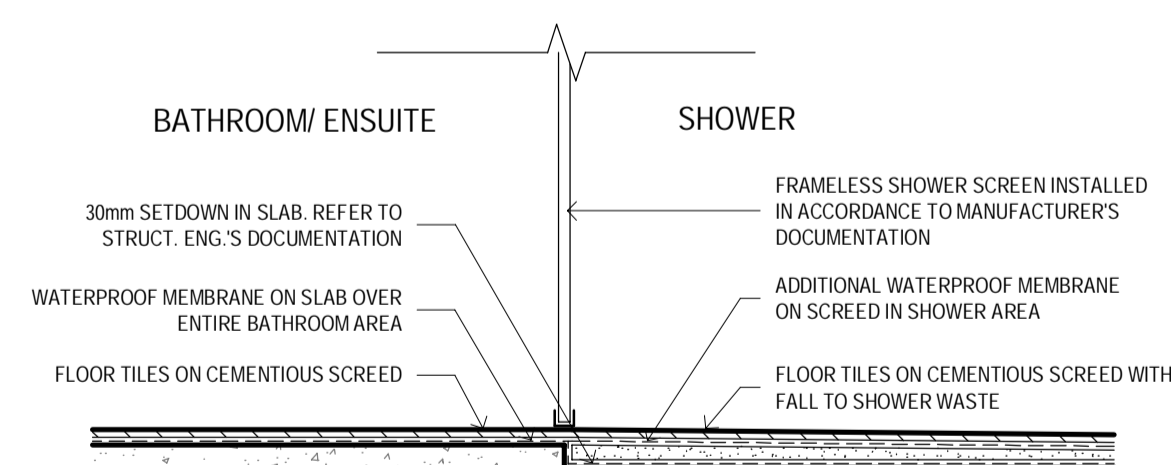
04 TYPICAL WINDOW HEAD DETAIL 2700 CEILING
A800 SCALE 1 : 10



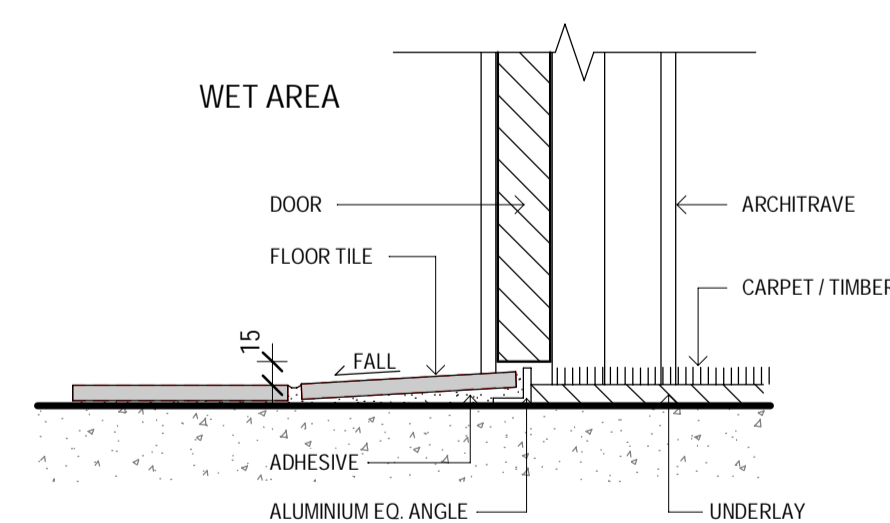
05 BRICK / PERFORATED METAL PARAPET DETAIL
A800 SCALE 1 : 10



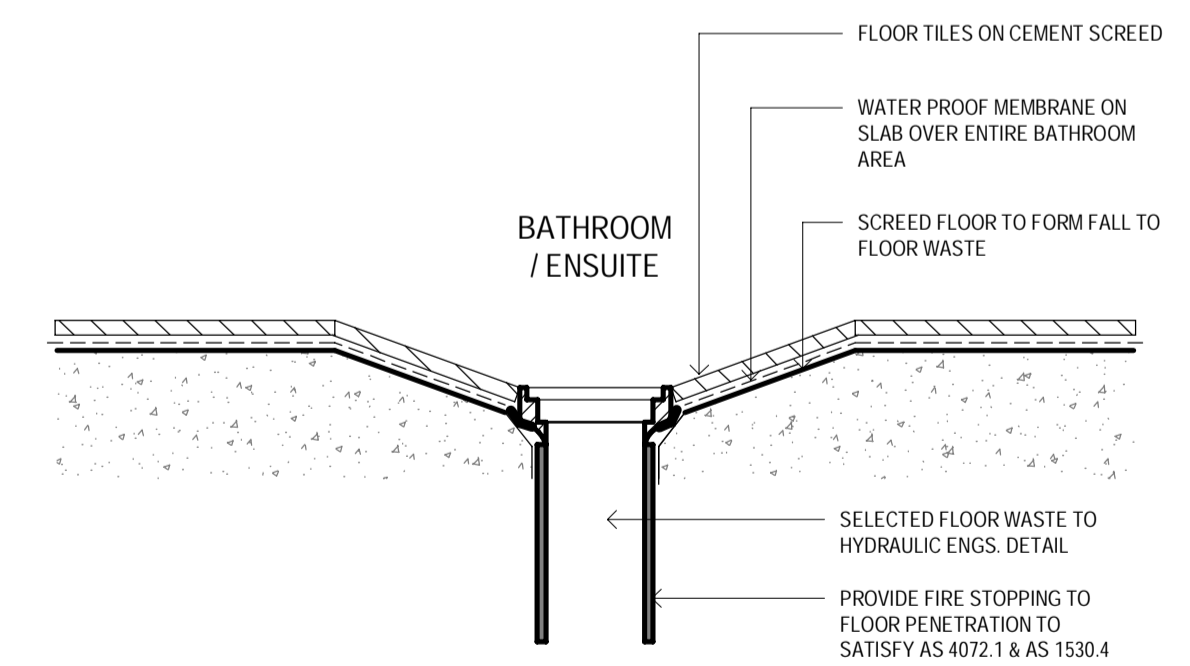
06 TYPICAL FLOOR FINISHES DETAIL
A800 SCALE 1 : 10



07 TYPICAL SHOWER BASE DETAIL
A800 SCALE 1 : 10



08 TYPICAL WET AREA THRESHOLD DETAIL
A800 SCALE 1 : 5

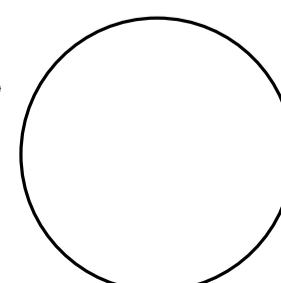


09 TYPICAL INTERNAL FLOOR WASTE DETAIL
A800 SCALE 1 : 5

REV	DESCRIPTION	DRN	CHK	DATE
P1	ISSUE FOR BUILDING PERMIT	AK / JP	AK	13.11.2020

pointarchitects

545 King Street West Melbourne 3003
t : 93295988 f : 93294707
e : info@pointarc.com.au



PRELIMINARY

ALL DIMENSIONS MUST BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF ANY WORK OR ESTABLISHMENTS OF ANY SHOP DRAWINGS. FIGURED DIMENSIONS MUST TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL SCALED DIMENSIONS MUST BE VERIFIED ON SITE. THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT.

PROJECT

APARTMENT BUILDING
437 CAMBERWELL ROAD,
CAMBERWELL

TITLE

SECTION DETAILS -
SHEET 1

DRAWN

AK / JP

SCALE

As indicated
@ A1

PLOT DATE

13/11/2020
14:44:52

JOB No.

1051

REVISION

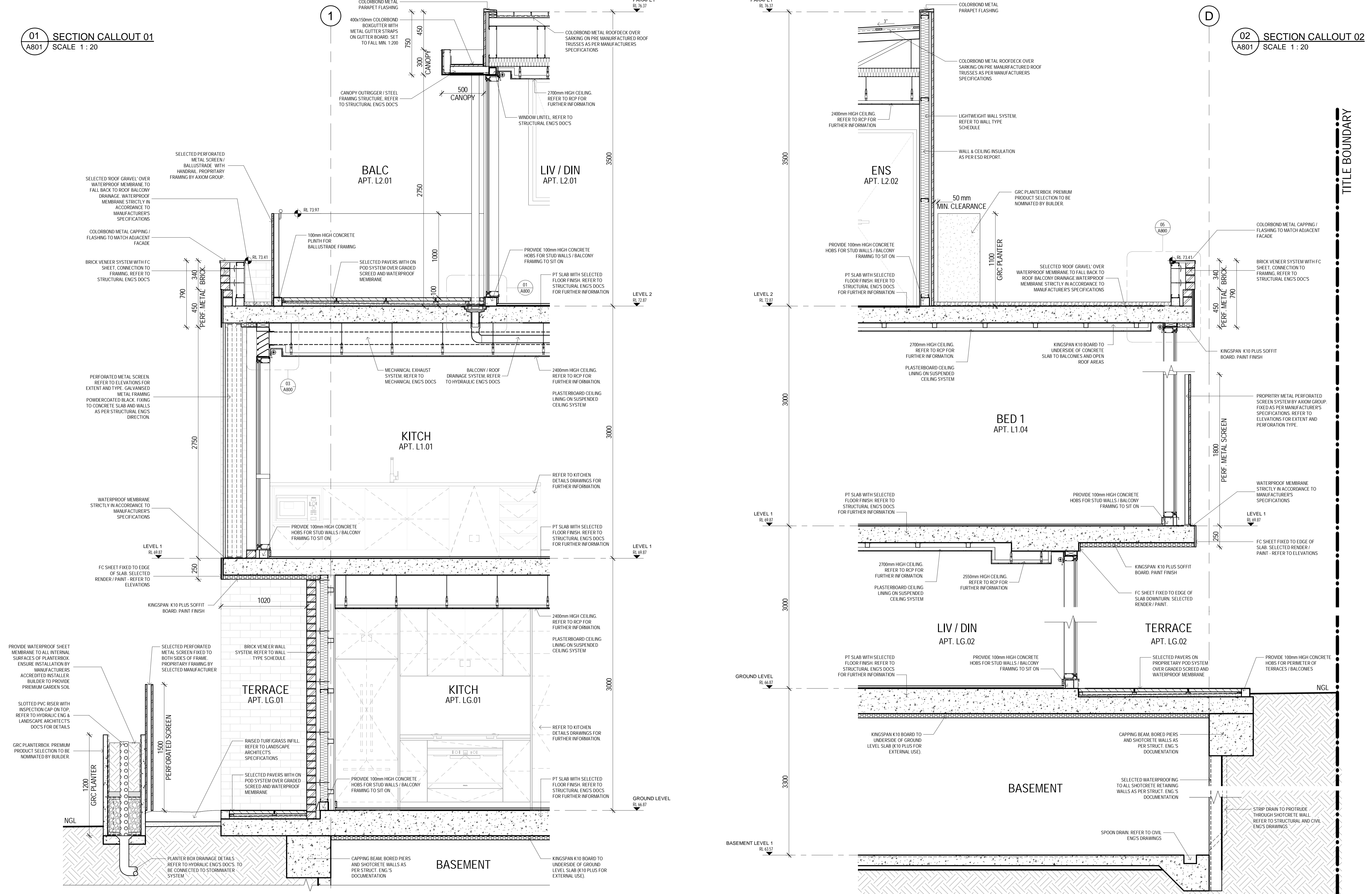
P1

DWG No

A800

01 SECTION CALLOUT 01
A801 SCALE 1:20

02 SECTION CALLOUT 02
A801 SCALE 1:20



REV	DESCRIPTION	DRN	CHK	DATE
P1	ISSUE FOR BUILDING PERMIT	AK / JP	AK	13.11.2020

pointarchitects
545 King Street West Melbourne 3003
t : 93295988 f : 93294707
e : info@pointarc.com.au

PRELIMINARY

ALL DIMENSIONS MUST BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF ANY WORK OR ESTABLISHMENTS OF ANY SHOP DRAWINGS. FIGURED DIMENSIONS MUST TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL SCALED DIMENSIONS MUST BE VERIFIED ON SITE. THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT.

PROJECT	TITLE	DRAWN	SCALE	PLOT DATE	JOB No.
APARTMENT BUILDING 437 CAMBERWELL ROAD, CAMBERWELL	SECTION DETAILS - SHEET 2	JP	1:20 @ A1	13/11/2020 14:44:56	1051
				DWG No A801	REVISION P1

TITLE BOUNDARY



01 WINDOW SCHEDULE - EAST ELEVATION
A900 SCALE 1 : 50



02 WINDOW SCHEDULE - WEST ELEVATION
A900 SCALE 1 : 50

LEGEND	
AW	AWNING WINDOW
DR	DOOR
FX	FIXED GLASS
SL	SLIDING DOOR / WINDOW
MG	WEATHERPROOF MECHANICAL EXHAUST GRILLE COLOUR TO MATCH ADJOINING WINDOW FRAME
(L1) W117	WINDOW NUMBERING

GENERAL NOTES	
ALL GLAZING TO COMPLY WITH AS1288:2006 & AS2047 - 1999.	
DRAWING TO BE READ IN CONJUNCTION WITH PROVIDED SECTION J REPORT. ARCHITECT TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.	
DRAWING TO BE READ IN CONJUNCTION WITH ELEVATIONS AND FLOOR PLANS. ARCHITECT TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.	
ALL WINDOWS TO HAVE POWDER COATED AS PER THE PROVIDED FINISHES SCHEDULE. UNLESS OTHERWISE NOTED, INSTALL AS PER MANUFACTURERS SPECIFICATION. PROVIDE FLYSCREENS TO ALL OPENABLE WINDOWS. MECHANICAL GRILLS TO BE POWDER COATED TO MATCH ADJOINING WINDOW FRAMES.	
PROVIDE TOUGHENED SAFETY GLASS WHERE SILL WITHIN 500mm OF FLOOR. IN BATHROOMS AND ESCUTES PROVIDE SAFETY GLASS WHEN SILL WITHIN 1500mm OF BATH BASE AND WITHIN 500mm FROM BATH, SHOWER, SHOWER DOORS, SHOWER SCREENS AND BATH ENCLOSURE.	
WHERE AWNING WINDOW OPENINGS ARE BELOW 1700MM AFFL. AND HAVEN AN OPENABLE PORTION OF THE WINDOW THAT IS 2000MM OR MORE ABOVE FINISHED SURFACE LEVEL BELOW OPENABLE RESTRICTORS ARE REQUIRED AND MUST NOT ALLOW A 125MM SPHERE TO PASS THROUGH AND RESIST AN OUTWARD HORIZONTAL ACTION OF 250N.	
WHERE A SEAL IS REQUIRED, THIS MUST BE A DRAFT PROTECTION DEVICE FOR THE BOTTOM EDGE OF AN EXTERNAL SWING DOOR, AND A FOAM OR RUBBER COMPRESSION STRIP, FIBROUS SEAL OR THE LIKE FOR THE OTHER EDGES OF AN EXTERNAL DOOR OR OPENABLE WINDOW.	
A SEAL TO RESTRICT AIR INFILTRATION MUST BE FITTED TO EACH EDGE OF A DOOR, OPENABLE WINDOW OR THE LIKE FORMING PART OF THE THERMAL ENVELOPE (EXCEPT FOR WINDOWS COMPLYING WITH AS 2047) AND FIRE DOORS OR SMOKE DOORS, AND ROLLER SHUTTER DOORS OR SECURITY DOORS.	
PROVIDE NOM. PACKING TO SUIT INSTALLATION.	
DOOR / WINDOW MANUFACTURER TO CONFIRM ALL DIMENSIONS OF OPENINGS ON SITE PRIOR TO COMMENCE MANUFACTURING.	

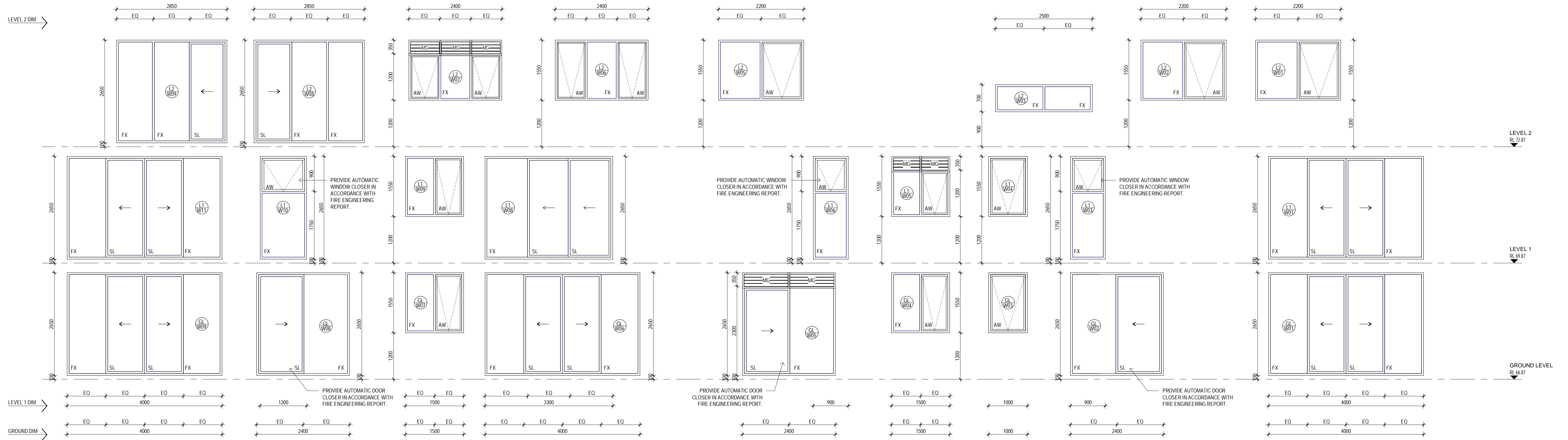
ESD REQUIREMENTS	
ALL WINDOW GLAZING AND FRAMING TO COMPLY WITH ESO CONSULTANT'S SPECIFICATIONS. REFER TO ESO CONSULTANT'S REPORT FOR FURTHER INFORMATION.	

REV	DESCRIPTION	DRN	CHK	DATE
P1	PRELIMINARY ISSUE	JP	AK	17.09.2020
P2	ISSUE FOR BUILDING PERMIT	AK / JP	AK	13.11.2020

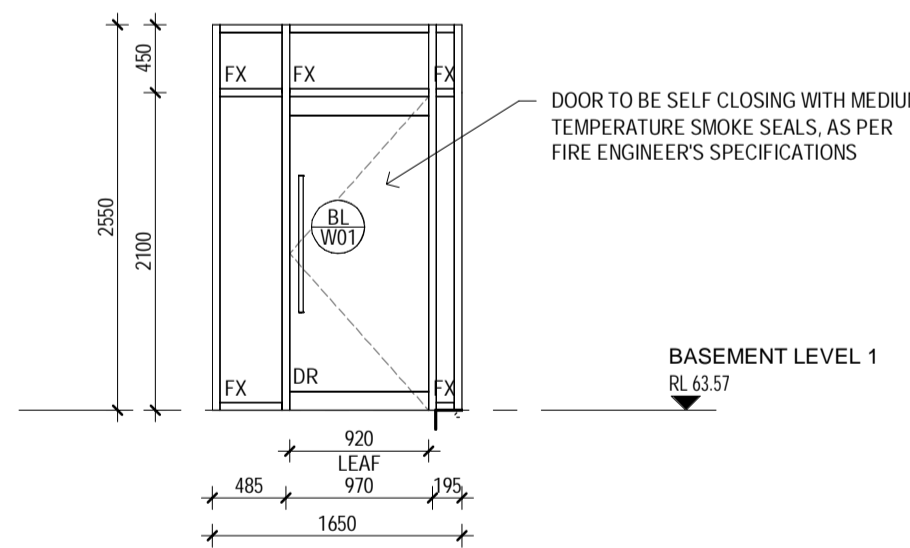
pointarchitects
545 King Street West Melbourne 3003
t : 93295988 f : 93294707
e : info@pointarc.com.au

PRELIMINARY
ALL DIMENSIONS MUST BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF ANY WORK OR ESTABLISHMENTS OF ANY SHOP DRAWINGS. FIGURED DIMENSIONS MUST TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL SCALED DIMENSIONS MUST BE VERIFIED ON SITE. THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT.

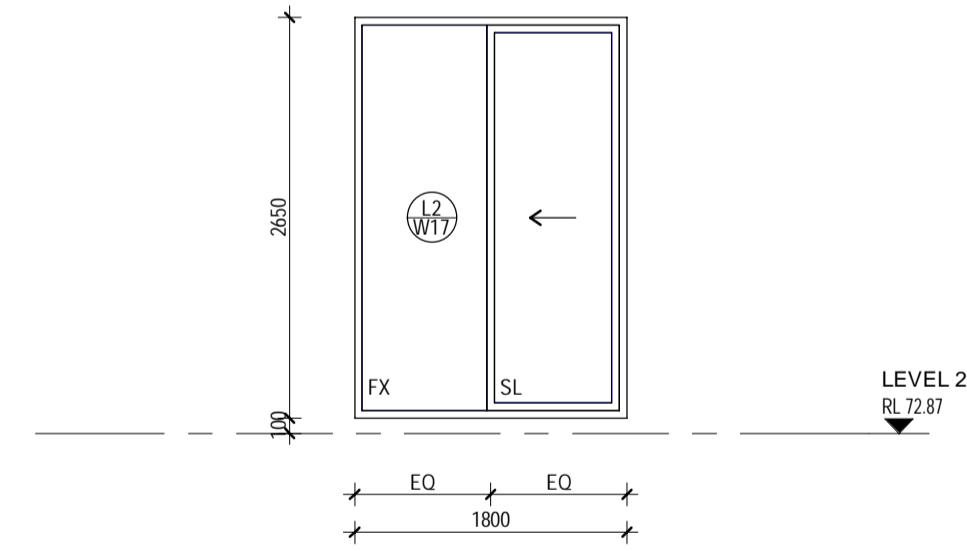
PROJECT	TITLE	DRAWN	SCALE	PLOT DATE	JOB No.
APARTMENT BUILDING 437 CAMBERWELL ROAD, CAMBERWELL	WINDOW SCHEDULE SHEET 1	JP	As indicated @ A1	13/11/2020 14:46:43	1051
					REVISION A900 P2



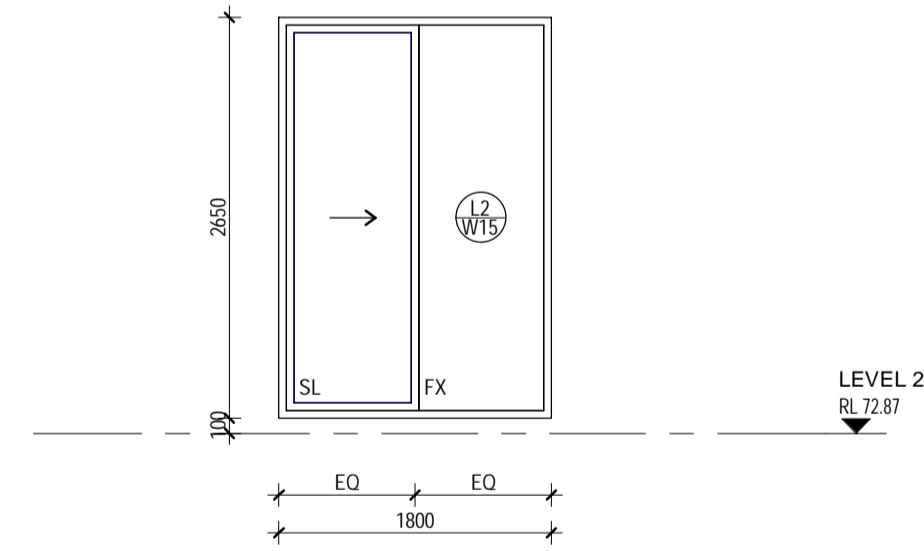
01 WINDOW SCHEDULE - NORTH ELEVATION
A901 SCALE 1 : 50



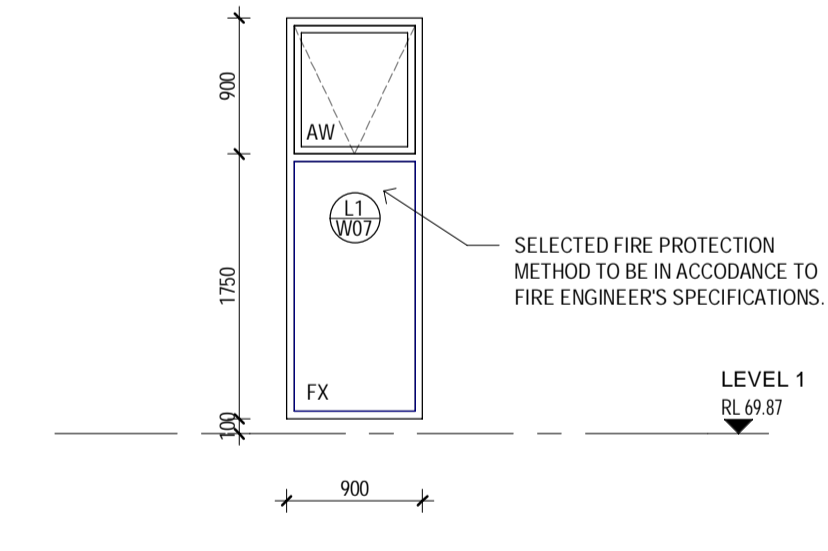
02 WINDOW SCHEDULE - BASEMENT AIRLOCK
A901 SCALE 1 : 50



03 WINDOW SCHEDULE - APT 2.01 BALCONY 01
A901 SCALE 1 : 50



04 WINDOW SCHEDULE - APT 2.01 BALCONY 02
A901 SCALE 1 : 50



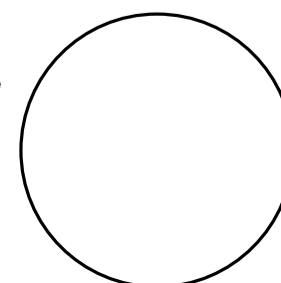
05 WINDOW SCHEDULE - APT 1.03 BED 2
A901 SCALE 1 : 50

LEGEND	
AW	AWNING WINDOW
DR	DOOR
FX	FIXED GLASS
SL	SLIDING DOOR / WINDOW
MC	WEATHERPROOF MECHANICAL EXHAUST GRILLE COLOUR TO MATCH ADJOINING WINDOW FRAME
(L1 W01)	WINDOW NUMBERING
GENERAL NOTES	
ALL GLAZING TO COMPLY WITH AS1288:2006 & AS2047 - 1999.	
DRAWING TO BE READ IN CONJUNCTION WITH PROVIDED SECTION J REPORT. ARCHITECT TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES	
DRAWING TO BE READ IN CONJUNCTION WITH ELEVATIONS AND FLOOR PLANS. ARCHITECT TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES	
ALL WINDOWS TO HAVE POWDER COATED AS PER THE PROVIDED FINISHES SCHEDULE. UNLESS OTHERWISE NOTED, INSTALL AS PER MANUFACTURER'S SPECIFICATION. PROVIDE FLYSCREENS TO ALL OPENABLE WINDOWS. MECHANICAL GRILLS TO BE POWDER COATED TO MATCH ADJOINING WINDOW FRAMES.	
PROVIDE TOUGHENED SAFETY GLASS WHERE SILL WITHIN 500mm OF FLOOR. IN BATHROOMS AND ENSUITES PROVIDE SAFETY GLASS WHEN SILL WITHIN 1500mm OF BATH BASE AND WITHIN 500mm FROM BATH, SHOWER, SHOWER DOORS, SHOWER SCREENS AND BATH ENCLOSURE.	
WHERE AWNING WINDOW OPENINGS ARE BELOW 1700MM AFFL. AND HAVEN AN OPENABLE PORTION OF THE WINDOW THAT IS 2000MM OR MORE ABOVE FINISHED SURFACE LEVEL BELOW OPENABLE RESTRICTORS ARE REQUIRED AND MUST NOT ALLOW A 125MM SPHERE TO PASS THROUGH AND RESIST AN OUTWARD HORIZONTAL ACTION OF 25kN.	
WHERE A SEAL IS REQUIRED, THIS MUST BE A DRAFT PROTECTION DEVICE FOR THE BOTTOM EDGE OF AN EXTERNAL SWING DOOR, AND A FOAM OR RUBBER COMPRESSION STRIP, FIBROUS SEAL OR THE LIKE FOR THE OTHER EDGES OF AN EXTERNAL DOOR OR OPENABLE WINDOW.	
A SEAL TO RESTRICT AIR INFILTRATION MUST BE FITTED TO EACH EDGE OF A DOOR, OPENABLE WINDOW OR THE LIKE FORMING PART OF THE THERMAL ENVELOPE (EXCEPT FOR WINDOWS COMPLYING WITH AS 2047) AND FIRE DOORS OR SMOKE DOORS, AND ROLLER SHUTTER DOORS OR SECURITY DOORS.	
PROVIDE NOM. PACKING TO SUIT INSTALLATION.	
DOOR / WINDOW MANUFACTURER TO CONFIRM ALL DIMENSIONS OF OPENINGS OR SITE PRIOR TO COMMENCE MANUFACTURING.	
ESD REQUIREMENTS	
ALL WINDOW GLAZING AND FRAMING TO COMPLY WITH ESO CONSULTANT'S SPECIFICATIONS. REFER TO ESO CONSULTANT'S REPORT FOR FURTHER INFORMATION.	

REV	DESCRIPTION	DRN	CHK	DATE
P1	PRELIMINARY ISSUE	JP	AK	17.09.2020
P2	ISSUE FOR BUILDING PERMIT	AK / JP	AK	13.11.2020

pointarchitects

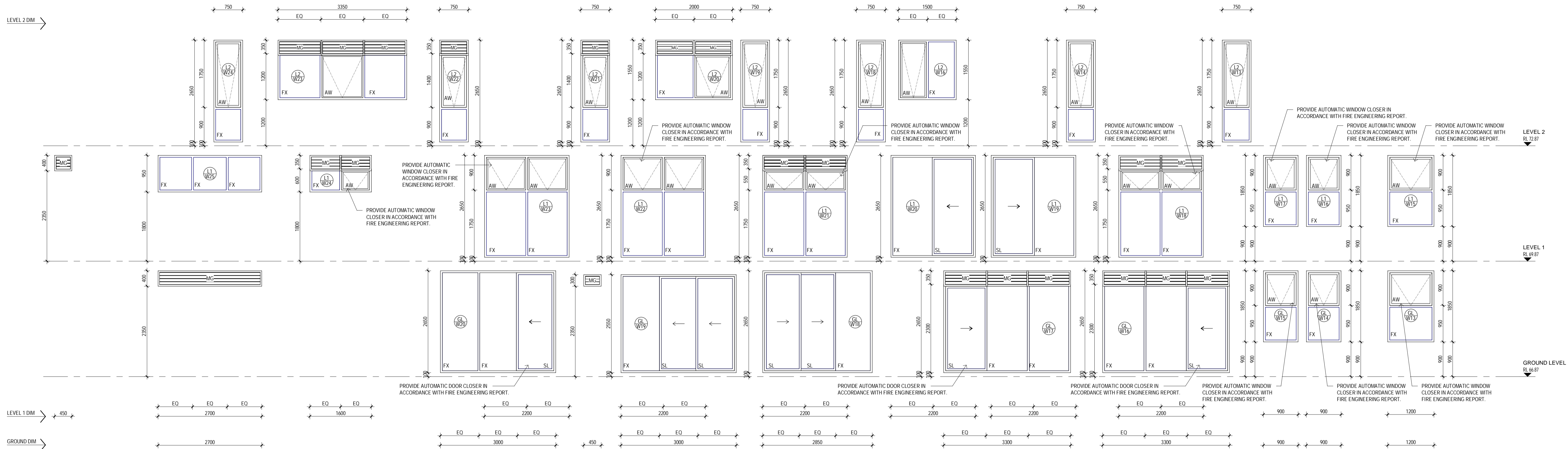
545 King Street West Melbourne 3003
t : 93295988 f : 93294707
e : info@pointarc.com.au



PRELIMINARY

ALL DIMENSIONS MUST BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF ANY WORK OR ESTABLISHMENTS OF ANY SHOP DRAWINGS. FIGURED DIMENSIONS MUST TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL SCALED DIMENSIONS MUST BE VERIFIED ON SITE. THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT.

PROJECT	TITLE	DRAWN	SCALE	PLOT DATE	JOB No.
APARTMENT BUILDING 437 CAMBERWELL ROAD, CAMBERWELL	WINDOW SCHEDULE SHEET 2	JP	As indicated @ A1	13/11/2020 14:45:00	1051
				DWG No	REVISION
				A901	P2



01 WINDOW SCHEDULE - SOUTH ELEVATION
A902 SCALE 1 : 50

CODE	HEIGHT	WIDTH	LOCATION	DESCRIPTION
CD01	3300 (TBC ON SITE)	4280 (TBC ON SITE)	BASEMENT ENTRY	AUTOMATIC STEEL PANEL DOUBLE DOOR; DULUX TAHARPE PAINTED VERTICAL METAL BATTENS - REFER TO ELEVATIONS FOR APPEARANCE. VENTILATION TO BE 25QM OF OPENING
CD02	2040	920	FIRE ISOLATED STAIR	FLUSH PANEL, TIMBER DOOR, MIN. FRL -60/30, SOLID CORE, MEDIUM TEMPERATURE SMOKE SEALS, SELF CLOSING, STAIR DOOR AT GROUND LEVEL TO HAVE REQUIRED DIRECTIONAL SIGNAGE AS STATED IN THE 'DOOR NOTES'
CD03	2200	920	MSB ROOM	FLUSH PANEL, TIMBER DOOR, MIN. FRL -60/30, SOLID CORE, MEDIUM TEMPERATURE SMOKE SEALS, SELF CLOSING, TO BE IN ACCORDANCE TO SERVICE ENGINEER'S SPECIFICATIONS
CD04	2040	920	PUMP ROOM	FLUSH PANEL, TIMBER DOOR, MIN. FRL -60/30, SOLID CORE, MEDIUM TEMPERATURE SMOKE SEALS, SELF CLOSING, TO BE IN ACCORDANCE TO SERVICE ENGINEER'S SPECIFICATIONS
CD05	2040	920	STORE ROOM	FLUSH PANEL SWING TIMBER DOOR
CD06	2040	920	BASEMENT LOBBY 02	FLUSH PANEL, TIMBER DOOR, SELF CLOSING, MEDIUM TEMPERATURE SMOKE SEALS
CD07	2040	920	WASTE ROOM	FLUSH PANEL SWING TIMBER DOOR, DOUBLE LEAF, TO BE IN ACCORDANCE TO SERVICE ENGINEER'S SPECIFICATIONS
CD08	2040	920	BASEMENT LOBBY 01	FLUSH PANEL, TIMBER DOUBLE LEAF DOOR, SELF CLOSING, MEDIUM TEMPERATURE SMOKE SEALS
CD09	2040	920	COMMS ROOM	FLUSH PANEL, TIMBER DOOR, MIN. FRL -60/30, SOLID CORE, MEDIUM TEMPERATURE SMOKE SEALS, SELF CLOSING, TO BE IN ACCORDANCE TO SERVICE ENGINEER'S SPECIFICATIONS
CD10	2040	920	ELECTRICAL CORRIDOR RISER	FLUSH PANEL, TIMBER DOOR, MIN. FRL -60/30, SOLID CORE, MEDIUM TEMPERATURE SMOKE SEALS, SELF CLOSING, TO BE IN ACCORDANCE TO SERVICE ENGINEER'S SPECIFICATIONS
D01	2040	920	APARTMENT ENTRY	FLUSH PANEL, TIMBER DOOR, MIN. FRL -60/30, SOLID CORE, MEDIUM TEMPERATURE SMOKE SEALS, SELF CLOSING
D02	2040	820	APARTMENT BEDROOM / STUDY	FLUSH PANEL SWING TIMBER DOOR
D03	2040	720	APARTMENT BATHROOM / ENSUITE / L1 01	FLUSH PANEL SWING TIMBER DOOR
D04	2040	720	APARTMENT WIR	FLUSH PANEL FULL GLAZED SWING DOOR
D08	2040	720	APARTMENT ENSUITE	FLUSH PANEL CAVITY SLIDER TIMBER DOOR

DOOR NOTES

DOOR CONTRACTOR TO REFER TO RELEVANT BCA AND AUSTRALIAN STANDARDS FOR ALL HARDWARE HEIGHTS, SIGNAGE, FONTS ETC REQUIREMENTS. ANY DISCREPANCIES BETWEEN ARCHITECT'S DRAWINGS, ARCHITECT TO BE NOTIFIED IMMEDIATELY, REFER TO HARDWARE SPECIFICATION BY OTHERS FOR ALL HARDWARE REQUIREMENTS

ALL DOORS TO BATHROOMS AND ENSUITES TO HAVE LIFT OFF HINGES AND AN ALLOWANCE OF A 20MM GAP AT TOP OF DOOR LEAF AS PER BCA REQUIREMENTS. REFER TO FLOOR PLANS FOR ALL DOOR SWING DIRECTIONS, LATCH SIDES AND HINGE SIDES.

ALL DOOR CLOSERS TO HAVE 'SLIDE ARM'.

DOORS WITHIN A PATH OF TRAVEL ARE TO BE OPENABLE VIA A SINGLE HANDED DOWNWARD ACTION ON A SINGLE DEVICE LOCATED BETWEEN 900mm-1100mm ABOVE FFL WITHOUT THE USE OF KEY.

ALL FIRE DOORS ARE TO BE SELF CLOSING.

WHERE A SEAL IS REQUIRED, THIS MUST BE A DRAFT PROTECTION DEVICE FOR THE BOTTOM EDGE OF AN EXTERNAL SWING DOOR, AND A FOAM OR RUBBER COMPRESSION STRIP, FIBROUS SEAL OR THE LIKE FOR THE OTHER EDGES OF AN EXTERNAL DOOR OR OPENABLE WINDOW.

A SEAL TO RESTRICT AIR INFILTRATION MUST BE FITTED TO EACH EDGE OF A DOOR, OPENABLE WINDOW OR THE LIKE FORMING PART OF THE THERMAL ENVELOPE (EXCEPT FOR WINDOWS COMPLYING WITH AS 2047, AND FIRE DOORS OR SMOKE DOORS, AND ROLLER SHUTTER DOORS OR SECURITY DOORS).

LOCKABLE DOORS ARE TO AUTOMATICALLY UNLOCK ON ACTIVATION OF THE BUILDING FIRE ALARM. THIS DOES NOT APPLY TO DOORS TO AND WITHIN APARTMENTS.

ALL BUILDING LOBBY ENTRY DOORS TO BE SELF CLOSING

PROVIDE SIGNAGE FIRE SAFETY DOOR - DO NOT OBSTRUCT - DO NOT KEEP OPEN ON EACH SIDE OF THE DOORS TO THE STAIRCASE IN MINIMUM 20mm HIGH UPPER CASE LETTERING IN CONTRASTING COLOUR TO THE BACKGROUND.

PROVIDE PAINT FINISH TO ALL TIMBER DOORS AS PER INTERNAL FINISHES SCHEDULE, USE EXTERNAL GRADE PAINT FOR EXTERNAL TIMBER DOORS AND APPLY IN ACCORDANCE TO MANUFACTURERS DOCUMENTATION.

JOINERY DOORS TO LAUNDRIES, CLIPBOARDS, ROBES ETC. NOT LISTED. MEASURE ON SITE AND PROVIDE SPECIFICATION TO ARCHITECT FOR APPROVAL PRIOR TO COMMENCE MANUFACTURING. REFER TO INTERNAL ELEVATIONS.

BRAILLE AND TACTILE SIGNAGE WILL BE REQUIRED TO IDENTIFY EACH EXIT DOOR FROM THE STOREY. THE SIGN SHOULD STATE 'EXIT' AND 'LEVEL NO.'

EXIT DOORS TO BE FITTED WITH APPROPRIATE ESCAPE TYPE LEVER HANDLE HARDWARE.

GROUND LEVEL FIRE ISOLATED STAIR DOOR TO HAVE DIRECTIONAL SIGNAGE STATING 'EXIT THIS LEVEL TO OUTSIDE UNLESS EXIT SIGN IS FLASHING RED. IF EXIT SIGN FLASHING RED, USE ALTERNATIVE EXIT VIA BASEMENT ONE LEVEL BELOW' IN CAPITAL LETTERS MINIMUM 50MM HIGH IN A COLOUR CONTRASTING WITH THE BACKGROUND IS TO BE LOCATED IN THE FIRE-ISOLATED STAIR ON THE GROUND FLOOR.

LEGEND

- AW AWNING WINDOW
- DR DOOR
- FX FIXED GLASS
- SL SLIDING DOOR / WINDOW
- MC WEATHERPROOF MECHANICAL EXHAUST GRILLE
- WINDOW NUMBERING

GENERAL NOTES

ALL GLAZING TO COMPLY WITH AS1288:2006 & AS2047 - 1999

DRAWING TO BE READ IN CONJUNCTION WITH PROVIDED SECTION J REPORT. ARCHITECT TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES

DRAWING TO BE READ IN CONJUNCTION WITH ELEVATIONS AND FLOOR PLANS. ARCHITECT TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES

ALL WINDOWS TO HAVE POWDER COATED AS PER THE PROVIDED FINISHES SCHEDULE, UNLESS OTHERWISE NOTED. INSTALL AS PER MANUFACTURERS SPECIFICATION. PROVIDE FLYSCREENS TO ALL OPENABLE WINDOWS, MECHANICAL GRILLS TO BE POWDER COATED TO MATCH ADJOINING WINDOW FRAME.

PROVIDE TOUGHENED SAFETY GLASS WHERE SILL WITHIN 500mm OF FLOOR IN BATHROOMS AND ENSUITES. PROVIDE SAFETY GLASS WHEN SILL WITHIN 1500mm OF BATH BASE AND WITHIN 500mm FROM BATH, SHOWER, SHOWER DOORS, SHOWER SCREENS AND BATH ENCLOSURE.

WHERE AWNING WINDOW OPENINGS ARE BELOW 1700MM AFFL. AND HAVE AN OPENABLE PORTION OF THE WINDOW THAT IS 2000MM OR MORE ABOVE FINISHED SURFACE LEVEL BELOW OPENABLE RESTRICTORS ARE REQUIRED AND MUST NOT ALLOW A 125MM SPHERE TO PASS THROUGH AND REST AN OUTWARD HORIZONTAL ACTION OF 25N.

WHERE A SEAL IS REQUIRED, THIS MUST BE A DRAFT PROTECTION DEVICE FOR THE BOTTOM EDGE OF AN EXTERNAL SWING DOOR, AND A FOAM OR RUBBER COMPRESSION STRIP, FIBROUS SEAL OR THE LIKE FOR THE OTHER EDGES OF AN EXTERNAL DOOR OR OPENABLE WINDOW.

A SEAL TO RESTRICT AIR INFILTRATION MUST BE FITTED TO EACH EDGE OF A DOOR, OPENABLE WINDOW OR THE LIKE FORMING PART OF THE THERMAL ENVELOPE (EXCEPT FOR WINDOWS COMPLYING WITH AS 2047, AND FIRE DOORS OR SMOKE DOORS, AND ROLLER SHUTTER DOORS OR SECURITY DOORS).

PROVIDE NOM. PACKING TO SUIT INSTALLATION.

DOOR / WINDOW MANUFACTURER TO CONFIRM ALL DIMENSIONS OF OPENINGS OR SITE PRIOR TO COMMENCE MANUFACTURING.

ESD REQUIREMENTS

ALL WINDOW GLAZING AND FRAMING TO COMPLY WITH ESD CONSULTANT'S SPECIFICATIONS. REFER TO ESD CONSULTANT'S REPORT FOR FURTHER INFORMATION.

REV	DESCRIPTION	DRN	CHK	DATE
P1	PRELIMINARY ISSUE	JP	AK	17.09.2020
P2	ISSUE FOR BUILDING PERMIT	AK / JP	AK	13.11.2020

point architects

545 King Street West Melbourne 3003
t : 93295988 f : 93294707
e : info@pointarc.com.au

PRELIMINARY

ALL DIMENSIONS MUST BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF ANY WORK OR ESTABLISHMENTS OF ANY SHOP DRAWINGS. FIGURED DIMENSIONS MUST TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL SCALED DIMENSIONS MUST BE VERIFIED ON SITE. THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT.

PROJECT	TITLE	DRAWN	SCALE	PLOT DATE	JOB No.
APARTMENT BUILDING 437 CAMBERWELL ROAD, CAMBERWELL	WINDOW SCHEDULE SHEET 3 & DOOR SCHEDULE	JP	As indicated @ A1	13/11/2020 14:45:04 DWG No	1051 REVISION A902 P2