# APARTMENT BUILDING 437 CAMBERWELL ROAD, CAMBERWELL

## **PRELIMINARY**

SHEET NO.	SHEET NAME	#	Sł
01 General			04
A000	DRAWING REGISTER	P2	A20
A001	GENERAL NOTES	P2	A20
A002	WALL TYPES SHEET	P2	A20
			A20
02 Site			
A010	SITE PLAN	P2	05
			A30
03 Floor Plans			A30
A101	BASEMENT LEVEL FLOOR PLAN	P12	A30
A102	GROUND LEVEL FLOOR PLAN	P20	A30
A103	FIRST LEVEL FLOOR PLAN	P18	
A104	SECOND LEVEL FLOOR PLAN	P16	06
A105	ROOF PLAN	P9	A40
			A40

SHEET NO.	SHEET NAME	#
04 Concrete Setout Plans		
A201	BASEMENT LEVEL 1 CONCRETE SETOUT PLAN	
A201	GROUND LEVEL CONCRETE SETOUT PLAN	
A203	FIRST LEVEL CONCRETE SETOUT PLAN	
A204	SECOND LEVEL CONCRETE SETOUT PLAN	
05 Reflected Ceiling Plans		
A300	BASEMENT LEVEL REFLECTED CEILING PLAN	P6
A301	GROUND LEVEL REFLECTED CEILING PLAN	P6
A302	FIRST LEVEL REFLECTED CEILING PLAN	P6
A303	SECOND LEVEL REFLECTED CEILING PLAN	P5
06 Elevations		
A400	ELEVATIONS 1	P5
A401	ELEVATIONS 2	P5

SHEET NO.	SHEET NAME	#
07 Sections		
A500	SECTION A-A	P3
A501	SECTION B-B	P3
08 Wet Areas / Apartme	nt Plans	
A600	KITCHEN DETAILS - SHEET 01	P1
A601	KITCHEN DETAILS - SHEET 02	P1
A602	KITCHEN DETAILS - SHEET 03	P1
A603	BATHROOM DETAILS - SHEET 01	P1
A604	BATHROOM DETAILS - SHEET 02	P1
A605	BATHROOM DETAILS - SHEET 03	P1
A606	BATHROOM DETAILS - SHEET 04	P1
A607	BATHROOM DETAILS - SHEET 05	P1
A608	BATHROOM DETAILS - SHEET 06	P1
A609	TYPICAL WET AREA & JOINERY DETAILS	P1
A610	APARTMENT FLOOR PLANS - GROUND LEVEL	
A611	APARTMENT FLOOR PLANS - FIRST LEVEL	
A612	APARTMENT FLOOR PLANS - SECOND LEVEL	

SHEET NO.	SHEET NAME	#
00.0		
09 Construction Details		
A700	STAIR AND LIFT DETAIL PLANS	P2
A701	STAIR AND LIFT SECTION DETAILS	P2
A800	SECTION DETAILS - SHEET 1	P1
A801	SECTION DETAILS - SHEET 2	P1
10 Schedules		
A900	WINDOW SCHEDULE SHEET 1	P2
A901	WINDOW SCHEDULE SHEET 2	P2
A902	WINDOW SCHEDULE SHEET 3 & DOOR SCHEDULE	P2



e : info@pointarc.com.au



PROJECT

A000

#### GENERAL NOTES

ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH CURRENT BUILDING ACT. BUILDING REGULATIONS, NCC AND RELEVANT AUSTRALIAN STANDARDS.

THE BUILDER AND SUBCONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, RELEVANT LEVELS AND DIMENSIONS ON-SITE PRIOR TO COMMENCING ANY BUILDING WORKS OR PREFABRICATION. ARCHITECT TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES

ARCHITECTURAL DRAWINGS TO BE READ IN CONJUNCTION WITH ALL CIVIL ENGINEERING DRAWINGS. ARCHITECT TO BE NOTIFIED OF ANY DISCREPANCIES.

ARCHITECTURAL DRAWINGS SHALL BE READ IN CONJUNCTION WITH STRUCTURAL ENGINEERS DRAWINGS, COMPUTATIONS AND RELEVANT GEOTECHNICAL REPORT. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS. ARCHITECT TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.

ARCHITECTURAL DRAWINGS TO BE READ IN CONJUNCTION WITH ALL SERVICES ENGINEERING DRAWINGS AND REPORTS AND APPROVED TOWN PLANING DRAWINGS AND CONDITIONS. ARCHITECT TO BE NOTIFIED OF ANY DISCREPANCIES.

PRIOR TO COMMENCEMENT OF CONSTRUCTION OF SERVICES ON SITE THE BUILDER/CONTRACTOR SHALL ISSUE THE ARCHITECT WITH AN RFI TO RESPOND TO ANY CO-ORDINATION ISSUES OR DISCREPANCIES ON THE SERVICES DRAWINGS OR ONSITE THAT MAY AFFECT THE WORKS.

BUILDER TO ADHERE TO ALL BUILDING PERMIT CONDITIONS AND PLANNING PERMIT CONDITIONS, ARCHITECT TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES

ALL MATERIALS & METHODS OF CONSTRUCTION SHALL COMPLY WITH RELEVANT AUSTRALIAN STANDARDS, LOCAL COUNCIL BY- LAWS AND BUILDING REGULATIONS AND THE NATIONAL CONSTRUCTION CODE OF AUSTRALIA

DO NOT SCALE DRAWINGS. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE NOTED

#### ALL LEVELS ARE TO A.H.D

REFER TO SOIL REPORT AND OR GEOTECHNICAL REPORT FOR SOIL CLASSIFICATIONS AND FOUNDING DEPTHS.

INSTALLATION OF ALL SERVICES SHALL COMPLY WITH THE RESPECTIVE SUPPLY **AUTHORITY REQUIREMENTS** 

THE BUILDER/CONRACTOR SHALL TAKE ALL NECESSARY STEPS TO ENSURE THE STABILITY AND GENERAL WATER TIGHTNESS OF NEW, AND / OR EXISTING STRUCTURES DURING ALL WORKS

THE APPROVAL BY THIS OFFICE OF A SUBSTITUTE MATERIAL, WORK PRACTICE, VARIATION OR THE LIKE IS NOT AUTHORISED FOR THE USE OR A CONTRACT VARIATION. ANY SAID VARIATION MUST BE ACCEPTED AND APPROVED BY ALL PARTIES TO THE AGREEMENT AND WHERE APPLICABLE THE RELEVANT BUILDING SURVEYOR PRIOR TO IMPLEMENTING THE SAID VARIATION

THESE NOTES ARE NEITHER EXHAUSTIVE OR A SUBSTITUTE FOR REGULATION STATOTORY REQUIREMENTS, BUILDING PRACTICE OR CONTRACTUAL OBLIGATIONS AND UNLESS EXPRESSLY STATED OTHERWISE, ARE PROVIDED ONLY AS GUIDELINES, NO RESPONSIBILITY IS ACCEPTED FOR THEIR USE

## SITE WORKS\_

ON COMPLETION THE BUILDER/CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF ALL RUBBISH AND SPOIL FROM THE SOIL

THE CONTRACTOR SHALL ERECT AND MAINTAIN ANY HOARDING, SHORING, PLANKING AND STRUTTING, DEWATERING DEVICES, BARRCADES, SIGNS, LIGHTS ETC NECESSARY TO KEEP WORKS IN A SAFE AND STABLE CONDITION AND FOR THE PROTECTION OF THE PUBLIC

WHERE THE DEVELOPMENT INVOLVES WORK ON OR ACCESS TO COUNCIL CONTROLLED LAND INCLUDING ROADS, RESERVES AND RIGHT OF WAY, THE OWNER, OPERATOR AND THEIR AGENTS UNDER THE PERMIT SHALL AT ALL TIMES TAKE ADEQUATE PRECAUTIONS TO MAINTAIN THEIR WORKS TO THE HIGHEST PUBLIC SAFETY STANDARDS. PRECAUTIONS ARE TO INCLUDE, APPROPRIATE SIGNAGE TO AS.1743, ROADWORKS SIGNAGE CODE OF PRACTICE, THE PROVISION OF ADEQUATE BARRICADING OF WORKS, INCLUDING TRENCHES OF SERVICES AUTHORITIES AND ANY OTHER ROAD OPENINGS, SUFFICIENT TO ENSURE PUBLIC SAFETY. ALL RELEVANT PERMITS ARE TO BE OBTAINED FROM THE RELEVANT COUNCIL FOR WORKS WITHIN THE EXISTING ROAD RESERVES IN ADDITION TO THE PLANNING PERMIT

ALL TREES AND SHRUBS TO STREETSCAPES ARE TO BE RETAINED UNLESS ROAD CONSTRUCTION NECESSITATES THEIR REMOVAL OR AS DIRECTED AND APPROVED BY THE RELEVANT AUTHORITY

THE DISPOSAL SITE FOR, SPOIL REMOVAL FROM THE SITE AND PROPOSED TRUCK ROUTE IS TO BE SUBMITTED TO AND APPROVED BY DIRECTOR OF ENGINEERING, IN WRITING PRIOR TO COMMENCEMENT OF ANY WORKS ON SITE. ALL CLEAN FILL REMOVAL FROM THE SITE IS TO BE TAKEN TO DISPOSAL FACILITY AS APPROVED IN WRITING BY THE DIRECTOR OF ENGINEERING

THE REINSTALLMENT AND COMPACTION OF PUBLIC AUTHORITY SERVICE TRENCHES TO BE AT THE ROAD CONTRACTORS EXPENSE

#### **DEMOLITION WORKS**

REV DESCRIPTION

WHERE DEMOLITION OCCURS CONTRACTOR TO PROCEED WITH CARE AND ENSURE ALL ADJOINING SURFACES ARE MADE GOOD IN PREPERATION FOR NEW WORKS

#### SEWER & DRAINAGE

ALL SEWER, STORMWTER AND DISCHARGE MUST COMPLY WITH AS:3500

ALL SEWER AND STORMWATER DESIGN TO BE AS PER CIVIL AND HYDRAULIC ENGINEERS DESIGN AND SPECIFICATION

STORMWATER SHALL BE TAKEN TO LEGAL POINT OF DISCHARGE TO THE SATISFACTION OF THE RELEVANT AUTHORITY.

SEWER OR SEPTIC SYSTEM SHALL BE IN ACCORDANCE WITH THE RELEVANT AUTHORITIES REQUIREMENTS AND TO AS.3500.

THE BUILDER AND SUBCONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS, SEWER PIPES AND THE LIKE ARE LOCATED AT A SUFFICIENT DISTANCE FROM ALL BUILDINGS FOOTINGS AND/OR SLAB EDGE BEAMS SO AS TO PREVENT GENERAL MOISTER PENETRATION, DAMPNESS, WEAKENING AND UNDERMINING OF ANY BUILDING AND ITS FOOTING SYSTEM.

ALL PIPES TO BE UPVC SEWER QUALITY.

ALL DOWN PIPES ARE TO BE AS PER CIVIL AND HYDRAULIC ENGINEERS DESIGN REQUIREMENTS @ A MINIMUM GRADE OF 1:100.

PIPE TRENCHES ACROSS DRIVEWAYS, CAR PARKS ETC. TO BE BACK FILLED WITH 20mm MINUS FCR.

THE DEPTH AND LOCATION OF ALL SERVICES ARE TO BE CHECKED PRIOR TO COMMENCEMENT OF WORKS.

THE WORKS ARE TO BE CARRIED OUT IN ACCORDANCE WITH COUNCIL SPECIFICATIONS AND STANDARD DRAWINGS.

PAVEMENT TO BE 150mm THICK 25MPA CONCRETE, F82 MESH CENTRALLY ON A 75mm FCR OR UNLESS OTHERWISE SPECIFIED BY STRUCTURAL ENGINEER

MINIMUM SURFACE GRADES ARE AS FOLLOWS: A) PAVED 1 IN 75 B) OTHER 1 IN 150

BATTERS ARE GRADED AT 45 DEGREES CLAY / 30 DEGREES SAND BATTERS ARE TO BE THATCHED WITH ROCK, MESH, MULCH OR AS DESIGNED BY OTHERS. CUT OFF DRAIN AT BASE OF EXCAVATION TO CONNECT TO S.W.D SYSTEM VIA SILT PITS.

TREE ROOT PROTECTION WHERE TREES EXIST WITHIN THEIR MATURE HEIGHT FROM THE PROPOSED FOOTING SYSTEM. THAN THAT PART OF THE FOOTING SYSTEM MUST BE DEEPENED TO 2.0m MINIMUM. EXTENT OF DEEPENING DETERMINED BY ENGINEER AND ON SITE.

90mm DIAMETER CLASS 6 UPVC STORMWATER LINE/PIPE LAID TO A MINIMUM GRADE OF 1:100 AND CONNECTED TO THE LEGAL POINT OF STORMWATER DISCHARGE UNLESS OTHERWISE SPECIFIED BY CIVIL ENGINEER.

PROVIDE INSPECTION OPENING AT 900mm CTRS AND AT EACH CHANGE OF DIRECTION UNLESS OTHERWISE APPROVED BY CIVIL ENGINEER.

COVER TO UNDERGROUND STORMWATER DRAINS SHALL BE NOT LESS THAN: 100mm UNDER SOIL 50mm UNDER PAVED OR CONCRETE AREAS: 100mm UNDER REINFORCED CONCRETE OR PAVED DRIVEWAYS;

75mm UNDER REINFORCED CONCRETE DRIVEWAYS

## TERMITE PROTECTION

WHERE THE BUILDING IS LOCATED IN A DESIGNATED TERMITE PRONE AREA, THE AREA UNDERSIDE OF THE BUILDING AND PEREMETER IS TO BE TREATED AGAINST TERMITE ATTACK IN ACCORDANCE WITH AS.3660

#### CONCRETE

ALL CONCRETE WORKS TO COMPLY WITH AS.3600

ALL CONCRETE STRUCTURE, IE. PILES, FOOTINGS, SLABS AND WALLS ETC ARE TO BE AS PER STRUCTURAL ENGINEERS DESIGN AND SPECIFICATIONS

#### TIMBER FRAMING

ALL TIMBER FRAMING, MEMBER SIZES, BRACING AND TIE DOWNS TO COMPLY WITH AS.1684

#### STEELWORK

ALL STEELWORK TO BE TO COMPLY WITH AS.4100 AND AS/NZ.4600.

ALL EXPOSED STEELWORK TO BE HOT DIPPED GALVANISED.

#### MASONARY

ALL MASONARY WORKS SHALL COMPLY WITH AS.3700

FOR BUILDING IN MARINE OR OTHER EXPOSED ENVIRONMENTS SHALL HAVE MASONARY UNITS, MORTAR AND ALL BUILT IN COMPONANTS AND THE LIKE COMPLYING WITH THE DURABILITY REQUIREMENTS OF TABLE 5.1 OF AS.3700 MASONARY STRUCTURES

PROVIDE STAINLESS STEEL WALL TIES TO BLOCKWORK AT MAX 600MM CTRS IN EACH DIRECTION AND WITHIN 300MM OF ARTICULATION JOINTS

PROVIDE FULL HEIGHT VERTICLE JOINTS TO ALL MASONARY WALLS AND OR OPENINGS FROM FOOTING TO EAVES, AT NO GREATER THAN 8 METRE INTERVALS OR AS OTHERWISE SPECIFIED BY THE STRUCTURAL ENGINEER.

#### GLAZING

ALL GLAZING WORKS SHALL COMPLY WITH AS.1288 AND PART J2 OF THE NCC.

ALL WINDOW AND SLIDING DOOR SECTIONS TO BE SELECTED POWDERCOATED ALUMINIUM COMMERCIAL FRAMES AS APPROVIED BY CLIENT/ARCHITECT.

ALL GLAZING DETAILS TO BE READ IN CONJUNCTION WITH BOTH THE ACOUSTIC ENGINEERS DESIGN AND SPECIFICATION, AND THE RELEVANT ESD REPORT. ARCHITECT TO BE NOTIFIED OF ANY DISCREPANCIES

BUILDER/CONTRACTOR TO CONFIRM ACTUAL WINDOW OPENING SIZES ON SITE PRIOR TO ANY ORDERING OF MATERIAL. ARCHITECT TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.

SAFETY GLAZING TO BE USED IN THE FOLLOWING CASES:

- ALL ROOMS WITHIN 500mm VERTICAL TO THE FLOOR BATHROOMS WITHIN 1500mm VERTICAL FROM THE BATH BASE
- WITHIN 500mm HORIZONTAL FROM BATH/SHOWER; TO SHOWER DOOR/SCREENS AND BATH ENCLOSURES.
- LAUNDRY WITHIN 1200mm FROM THE FLOOR AND/OR WITHIN 300mm HORIZONTAL FROM THE DOOR/TROUGH
- DOORWAYS WITHIN 300mm HORIZONTAL FROM ALL DOORS SHOWER SCREENS SHALL BE GRADE A SAFETY GLASS

#### THERMAL INSULATION

WALL, CEILING AND ROOF INSULATION CO COMPLY WITH RELEVANT ESD REPORT

#### **DOORS**

ALL DOORS TO COMPLY WITH PART D2 OF THE NCC

RESIDENTIAL APARTMENT ENTRY DOORSARE TO ACHIEVE AN FRL OF ?/?/? AND ARE TO COMPRISE OF SELF-CLOSING 35mm THICK SOLID CORE TIMBER DOORS, FITTED WITH COOL/MEDIUM TEMPERATURE SMOKE TESTED IN ACCORDANCE WITH AS1530.7 (TO ACHIEVE A SMOKE LEAKAGE RATE WITHOUT A THRESHOLD SEAL LESS THAN THE 108m<sup>3</sup>/hr @25kPa AT 20°C OR IF PROVIDED WITH A THRESHOLD SEAL, LESS THAN 3m<sup>3</sup>/hr @ 25kPa AT 20°C OR 200°C).

DOOR FURNITURE TO EXIT DOORS TO COMPLY WITH D2 OF THE NCC BRAILLE AND TACTILE SIGNAGE TO DOORS OF DISABLED SANITARY COMPARTMENTS.

DOORS TO WC AND BATHROOMS TO BE FITTED WITH REMOVABLE/ LIFT UP HINGES AS PER PART 3 OF THE NCC

ENTRY DOORS TO STAIRS ARE TO BE SELF CLOSING TIGHT FITTED -/60/30 FIRE DOORS AND FITTED WITH COOL/MEDIUM TEMPERATURE SMOKE SEALS IN ACCORDANCE WITH AS.1530.7.

LIFT DOORS ARE REQUIRED TO BE -/60/- FRL.

PROVIDE 400x400 ALUMINIUM DOOR RELIEF ALTERNATIVELY ABOUT 25mm GAP UNDER DOORS TO PROVIDE RELIEF AS REQUIRED TO BUILDERS DISCRETION

TYPICALLY SMOKE DOOR CONSTRUCTION TO COMPLY WITH PART C3.4 OF THE NCC. SPECIFICALLY CONSTRUCTED:

A) DOOR LEAVES ARE SIDE HUNG TO SWING IN THE DIRECTION OF EGRESS OR IN

BOTH DIRECTIONS. B) 35mm THICK SOLID CORE DOOR LEAVES THAT ARE CAPABLE OF RESISTING SMOKE AT 200° FOR 30 MINUTES.

C) DOOR LEAVES THAT ARE FITTED WITH SMOKE SEALS

D) DOOR LEAVES THAT ARE NORMALLY IN THE CLOSED POSITION OR DOOR LEAVES THAT CLOSE AUTOMATICALLY WITH AN AUTOMATIC CLOSING OPERATION SYSTEM. E) DOOR LEAVES RETURN TO THE FULLY CLOSED POSITION AFTER EACH OPENING. F) PART GLAZED DOOR LEAVES TO COMPLY WITH AS 1288

PROVIDE SIGNAGE TO ALL FIRE DOORS IN ACCORDANCE WITH BCA 2008 CLAUSE D.2.23 TO BOTH SIDES OF DOORS.

PROVIDE FRL -/60/30 FIRE DOORS OR ACCESS PANEL TO ANY OPENINGS IN WALLS PROVIDING ACCESS TO VENTILATION, PIPES, GARBAGE OR OTHER SERVICES

TENANCY DOORS ARE TO BE FITTED WITH A HOLD-OPEN DEVICE

EXIT DOORS ARE TO BE OPENABLE WITH A SINGLE HANDED DOWNWARD ACTION WITHOUT THE USE OF A KEY FROM THE DIRECTION OF EGRESS, WITH A LATCHING DEVICE LOCATED BETWEEN 900-1200mm ABOVE FINISHED FLOOR LEVEL; DOORS TO ALSO PROVIDE HOLD OPEN DEVICES TO OFFICE DOORS

#### LIGHTING & ELECTRICAL

ARTIFICIAL LIGHTING TO COMPLY WITH AS.1680 AS A MINIMUM REQUIREMENT.

EMERGENCY LIGHTING SYSTEM TO BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH AS/NZS 3391.1 AND E4.2 OF THE NCC. A LOG BOOK IS REQUIRED TO BE KEPT TO SUPPLY AUTHORITY REQUIREMENTS

EMERGENCY LIGHTING SYSTEM TO BE INSTALLED: A) IN EVERY FIRE ISOLATED STAIRWAY, AND FIRE ISOLATED PASSAGEWAY B) IN EVERY STOREY OF THE CLASS 6 AND CLASS 7A IF THE STORY HAS A FLOOR AREA MORE THAN 300m<sup>2</sup>

INSTALLATION OF ALL SERVICES SHALL COMPLY WITH THE RESPECTIVE REQUIREMENTS AND LOCATED IN THE SWITCHBOARD FOR MAINTENANCE RECORDS PRIOR TO THE ISSUE OF OCCUPANCY PERMIT

#### ACOUSTIC

ALL ACOUSTIC REQUIREMENTS ARE AS PER ACOUSTIC REPORT AND ENDORSED TOWN PLANNING DRAWINGS AND CONDITIONS

ALL ACOUSTIC TREATMENTS. MATERIALS AND REQUIREMENTS ARE TO COMPLY WITH PART 3 OF THE NCC UNLESS OTHERWISE SPECIFIED BY THE ACOUSTIC **ENGINEER** 

#### STAIR, LIFT & BALUSTRADING

2030mm MINIMUM HEAD CLEARANCE

ALL STAIR AND BALUSTRADE CONSTRUCTION TO BE IN ACCORDANCE WITH PART 3 OF THE

CONCRETE STAIRS TO BE CONSTRUCTED IN ACCORDANCE WITH D2.13 TO D2.17 OF THE

MAX. SLOPE RELATIONSHIP 700 (2R+G) MINIMUM 550 865mm MINIMUM HIGH HANDRAIL (1000mm MIN. TO LANDINGS) 125mm MAXIMUM BETWEEN BALUSTRADING

PROVIDE NON-SLIP FINISH OR SUITABLE NON-SKID STRIP NEAR EDGE OF NOSING OR HAVE A NON-SLIP FINISH

ENSURE MAXIMUM GAP BETWEEN RISERS DO NOT EXCEED 125mm OR USE CLOSED RISERS

PROVIDE CONTINUOUS HANDRAIL 1000mm MINIMUM HEIGHT TO DECKS AND BALCONIES WHICH ARE 1000mm OR MORE ABOVE GROUND LEVEL

ALL BALCONIES EXCEEDING 4.0m ABOVE GROUND LEVEL MUST HAVE NON-CLIMBABLE BALUSTRADES BETWEEN HEIGHTS OF 150 AND 760mm

ALL GLASS BALUSTRADING STRUCTURAL TOP HANDRAIL SHOULD BE DESIGNED TO WITHSTAND THE IMPOSED LOADING AS DETAILED IN AS.1170 LOADING CODE.

FOR STAIRS CONNECTING LEVELS ABOVE AND BELOW THE GROUND LEVEL, ITS RECOMMENDED THAT SIGNAGE INDICATE THE SPECIFIC LEVEL OF EGRESS, i.e. "GROUND LEVEL - EXIT AT THIS LEVEL"

TACTILE INDICATORS COMPLYING WITH AS.1328 ARE TO BE PROVIDED TO RAMP AND

TACTILE SIGNAGE (BRAILLE) IS TO BE PROVIDED TO ENTRY AND LIFTS ON ALL LEVELS

LIFT INDICATOR PANEL IS TO COMPLY WITH NCC PART C3

LIFT CAR IS TO COMPLY WITH FIRE HAZARD PROPERTIES OF AS.1735

LIFTS ARE TO BE DISABLED ACCESSIBLE, LIFT CONTROLS, HANDRAILS AND MINIMUM CLEAR DOOR OPENINGS ARE TO COMPLY WITH AS.1735

LIFT DOORS ARE TO BE FITTED WITH A SERIES OF DOOR OPENING SENSORY DEVICES WHICH WE WILL DETECT A 75mm DIAMETER ROD ACROSS THE DOOR OPENING BETWEEN 50mm AND 1500mm ABOVE FINISHED FLOOR LEVEL.

LIFT WARNING SIGNS ARE TO BE PROVIDED ON ALL LEVELS IN ACCORDANCE WITH NCC PART E3

EXIT PATHS AND STAIRS TO BE 1.0m MINIMUM WIDTH MEASURED BETWEEN HANDRAILS.

LIFT BUTTONS TO HAVE A MIN. 500MM CLEARANCE FROM ANT WALL/OBSTRUCTION AS PER DISABLED ACCESS REQUIREMENTS

PROVIDE SIGNAGE TO ALL FIRE DOORS IN ACCORDANCE WITH NCC PART D2 TO BOTH SIDES OF DOORS

REFER TO ELECTRICAL ENGINEERS DRAWINGS FOR FULL ELECTRICAL SERVICES. LIGHTING AND EMERGENCY LIGHTING LOCATIONS AND SPECIFICATIONS

#### VENTILATION

MECHANICAL VENTILATION SYSTEM TO COMPLY WITH AS.1668.2

AIR CONDITIONING TO COMPLY WITH AS.3666

REFER TO MECHANICAL ENGINEERS DRAWINGS FOR FULL EXTENT OF PROPOSED **VENTILATION SYSTEM AND SPECIFICATIONS** 

INTAKE AIR FROM EXTERNAL TO BE PROVIDED TO EACH APARTMENT TO ADDRESS THE ISSUE OF CONDENSATION BUILD UP. REFER TO MECHANICAL ENGINEERS DRAWINGS AND **SPECIFICATIONS** 

## **WET AREAS**

ALL WET AREAS, BEING BATHROOMS, SHOWERS, SHOWER ROOMS, LAUNDRIES, SANITARY COMPARTMENTS AND THE LIKE SHALL BE CONSTRUCTED IN ACCORDANCE WITH AS 3740 AND PART 3 OF THE NCC

PROVIDE IMPERVIOUS FLOORS TO LAUNDRY, BATHROOMS, ENSUITES AND WC'S AND IMPERVIOUS WALLS TO A HEIGHT OF 1800MM AROUND SHOWERS AND 300MM ABOVE THE RIM OF A BASIN, BATH, TROUGH OR SINK

WET AREAS MUST BE WATERPROOFED IN ACCORDANCE WITH AS.3740 AND PART F1 OF THE NCC

ALL JOINTS, CORNERS AND JUNCTIONS IN OR BETWEEN THE IMPERVIOUS SURFACE OF WALLS, FLOORS AND PENETRATIONS SHALL BE WATERPROOFED TO THE SATISFACTION OF THE BUILDING SURVEYOR

#### **SMOKE CONTROL**

THE CLASS 2 (APARTMENTS) AND CLASS 7A (CAR PARK) PART OF THE PROPOSED BUILDING MUST BE PROVIDED WITH AN AUTOMATIC SMOKE DETENTION AND ALARM SYSTEM COMPLYING WITH SPECIFICATION E2.2A.

THE CLASS 7A (BASEMENT CAR PARKS) MUST BE PROVIDED WITH A MECHANICAL VENTILATION SYSTEM IN ACCORDANCE WITH AS 1688.2 THIS MUST COMPLY WITH CLAUSE 5.58 AS/NZS 1668.1 AND

A) FANS WITH METAL BLADES SUITABLE FOR OPERATION AT NORMAL TEMPERATURES MAY BE USED; AND B) THE ELECTRICAL POWER AND CONTROL CABLING NEED NOT BE FIRE RATED

SMOKE ALARMS ARE TO BE PROVIDED AND INSTALLED IN ACCORDANCE WITH AS 3786 AND SHALL BE HARD WIRED WITH A BATTERY BACK UP

#### FIRE SERVICES

CHIEF OFFICER.

ALL FIRE SERVICES TO BE AS PER FIRE AND HYDRAULIC ENGINEERS DESIGN AND SPECIFICATION, FIRE REPORT AND TO MFB AND NCC REQUIREMENTS

FIRE EXTINGUISHERS (AS SHOWN ON PLAN AND LEGEND) TO BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH AS 2444. THE SIZE, TYPE AND LOCATION SHALL BE IN ACCORDANCE WITH THE APPROVED PLAN TO THE SATISFACTION OF THE

ALL FIRE SERVICES TO COMPLY WITH NCC PART E1

ALL FIRE SERVICE PIPES ARE TO BE COPPER TUBE AS 1482-1976.

CONNECT COPPER PIPES TO VALVES WITH COPPER/ALLOY FITTINGS TO AS 1590.

PROVIDE 75mm COVER TO ALL PIPES UNDER PAVEMENT

PROVIDE AND MAINTAIN AN ESSENTIAL SERVICES LOG BOOK IN METER BOX OR AT SWITCHBOARD PART 11.5 AND 11.6.

ALL FIRE HOSE REELS AND HYDRANTS TO BE IN ACCORDANCE WITH HYDRAULIC ENGINEERS DESIGN AND DETAIL.

SPRINKLER PROTECTION IS TO BE PROVIDED THROUGHOUT THE BUILDING IN ACCORDANCE WITH AS 2118.1, WITH RESIDENTIAL HEADS USED WITHIN THE RESIDENTIAL LEVELS. FAST RESPONSE SPRINKLER HEADS ARE TO BE UNUTILISED WITHIN THE NON-RESIDENTIAL LEVELS, AS PER FIRE REPORT OR UNLESS OTHERWISE SPECIFIED BY THE FIRE ENGINEER

ALL EXIT STAIRS SERVING THE APARTMENT LEVELS IS TO BE CONSTRUCTED AS A FIRE ISOLATED STAIR

CONNECT COPPER PIPES TO VALVES WITH COPPER/ALLOY FITTINGS TO FOR UNPROTECTED OPENINGS WITHIN 1m TO 3m OF A FIRE SOURCE FEATURE (IF PARALLEL) OR WITHIN 1m PERPENDICULAR, GLAZING IS TO COMPRISE OF TOUGHENED SAFETY GLASS TO A MINIMUM OF 6mm THICK IN ACCORDANCE WITH AS 1288, INSTALLED WITHIN A METAL FRAME, AS PER FIRE REPORT.

FIRE RESISTANCE LEVELS MUST BE PROTECTED IN A MANNER IDENTICAL WITH A PROTOTYPE TESTED IN ACCORDANCE WITH AS1530.4 TO ACHIEVE THE REQUIRED FRL.

ALL FIRE SAFETY REQUIREMENTS ARE TO BE IN ACCORDANCE WITH THE FIRE SAFETY REPORT.

## FIRE DETECTION SYSTEM SERVING COMMON AREAS

SPECIFICATION AND THE RELEVANT FIRE REPORT

ALL FIRE DETECTION SYSTEMS TO BE AS PER THE FIRE ENGINEERS DESIGN AND

FIRE DETECTION SYSTEM TO BE AN ADDRESSABLE AS 1670.1 SYSTEM IN ACCORDANCE WITH THE NCC PART E2

SMOKE DETECTION TO BE PROVIDED TO THE PUBLIC CORRIDORS, EXCLUDING THE CONCESSION PERMITTED WITHIN THE SPRINKLER PROTECTED BUILDING

A SMOKE DETECTOR TO BE PROVIDED WITHIN THE ENCLOSURE CONTAINING THE ELECTRICAL METERS (AS PART OF THE COMMON AREA FIRE DETECTION SYSTEM, WITH A DISCRETE ZONE/ADDRESS SUCH THAT IN OPERATION IT CAN BE IDENTIFIED AT THE FIP), WHERE 35mm THICK SOLID CORE DOORS WITH SMOKE SEALS HAVE BEEN USED FOR THE CABINET IN LIEU OF NON-COMBUSTIBLE DOORS

SOUNDER FROM THE COMMON AREA FIRE DETECTION SYSTEM IS TO INSTALLED WITHIN EACH SOU, WITH THE SOUND PRESSURE LEVEL GENERATED TO BE CONSISTENT WITH THE REQUIREMENTS OF ACHIEVING 85 dBa AT THE MAIN ENTRANCE DOOR WITHIN EACH SOU

## FIRE RESISTANCE

MATERIALS AND ASSEMBLIES IN CLASS 2 AND 7A MUST COMPLY WITH PART C1 OF THE NCC.

THE ELECTRICITY SUPPLY SYSTEM WITHIN THE BUILDING MUST BE SEPARATED FROM ANY OTHER PART OF THE BUILDING BY HAVING A FIRE RESISTANCE LEVEL OF NO LESS THAN 120/120/120 AND HAVE A CLOSING FIRE DOOR WITH A FRL OF NOT LESS THAN -/120/30.

A CLASS 2 DOORWAY MUST BE PROTECTED IF IT PROVIDES ACCESS FROM THE SOLE OCCUPANCY UNIT TO THE PUBLIC CORRIDOR, PUBLIC LOBBY OR THE LIKE. THE PROTECTION OF THE DOORWAY IS REQUIRED TO BE AT LEAST A SELF CLOSING -/60/30 FIRE DOOR.

OPENINGS IN FLOORS AND CEILINGS FOR SERVICES MUST BE PROTECTED IN A BUILDING TYPE B CONSTRUCTION BY A SHAFT THAT WILL NOT REDUCE THE FIRE PERFORMANCE OF THE BUILDING ELEMENT IT PENETRATES

ALL OPENINGS IN FLOORS AND CEILINGS FOR SERVICES MUST COMPLY WITH PART

C3 OF THE NCC ALL SERVICE PENETRATIONS THROUGH FLOORS ARE TO BE ADEQUATELY PROTECTED IN A MANNER THAT MAINTAINS THE REQUIRED FRL

CONSTRUCTION JOINTS, SPACES AND THE LIKE IN AND BETWEEN BETWEEN THE BUILDING ELEMENTS ARE REQUIRED TO BE FIRE RESISTING WITH RESPECT TO INTEGRITY AND INSULATION MUST BE PROTECTED IN A MANNER IDENTICAL WITH A PROTOTYPE TESTED IN ACCORDANCE WITH AS1530.4 TO ACHIEVE THE REQUIRED FRL.

P1 PRELIMINARY ISSUE 17.09.2020 P2 ISSUE FOR BUILDING PERMIT AK 13.11.2020

DRN

CHK DATE



**PRELIMINARY** ALL DIMENSIONS MUST BE VERIFIED ON SITE PRIOR

TO COMMENCEMENT OF ANY WORK OR

ESTABLISHMENTS OF ANY SHOP DRAWINGS.

OVER SCALED DIMENSIONS. ALL SCALED

PROPERTY OF THE ARCHITECT.

DRAWING IS COPYRIGHT AND REMAINS THE

FIGURED DIMENSIONS MUST TAKE PRECEDENCE

DIMENSIONS MUST BE VERIFIED ON SITE. THIS

APARTMENT BUILDING 437 CAMBERWELL ROAD. **CAMBERWELL** 

**GENERAL NOTES** 

JP

1:100 @ A1

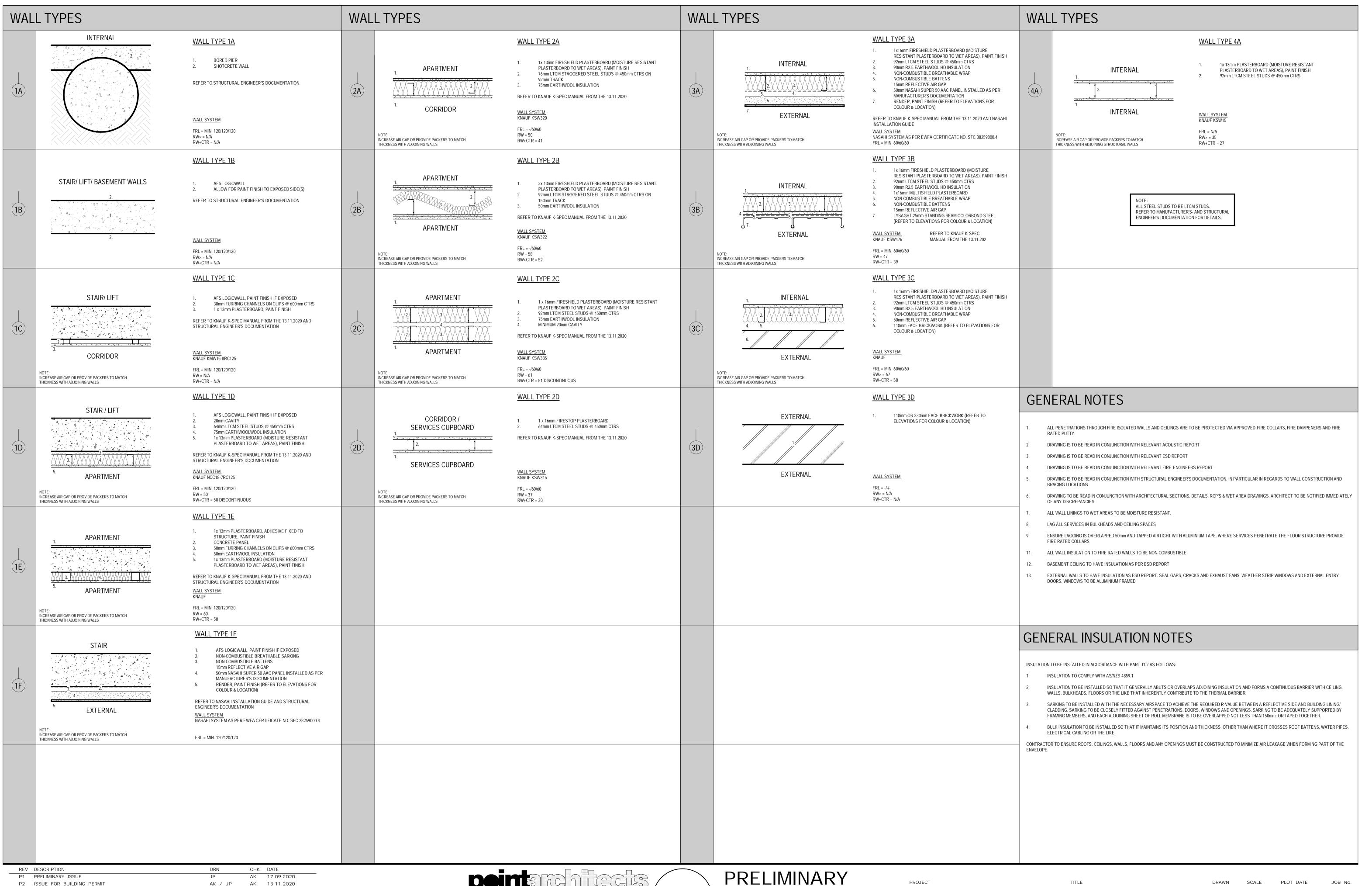
DWG No

SCALE PLOT DATE 13/11/2020

14:43:30 REVISION

JOB No.

1051



545 King Street West Melbourne 3003 f: 93294707

ALL DIMENSIONS MUST BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF ANY WORK OR ESTABLISHMENTS OF ANY SHOP DRAWINGS. FIGURED DIMENSIONS MUST TAKE PRECEDENCE OVER SCALED DIMENSIONS, ALL SCALED

DIMENSIONS MUST BE VERIFIED ON SITE. THIS

DRAWING IS COPYRIGHT AND REMAINS THE

PROPERTY OF THE ARCHITECT.

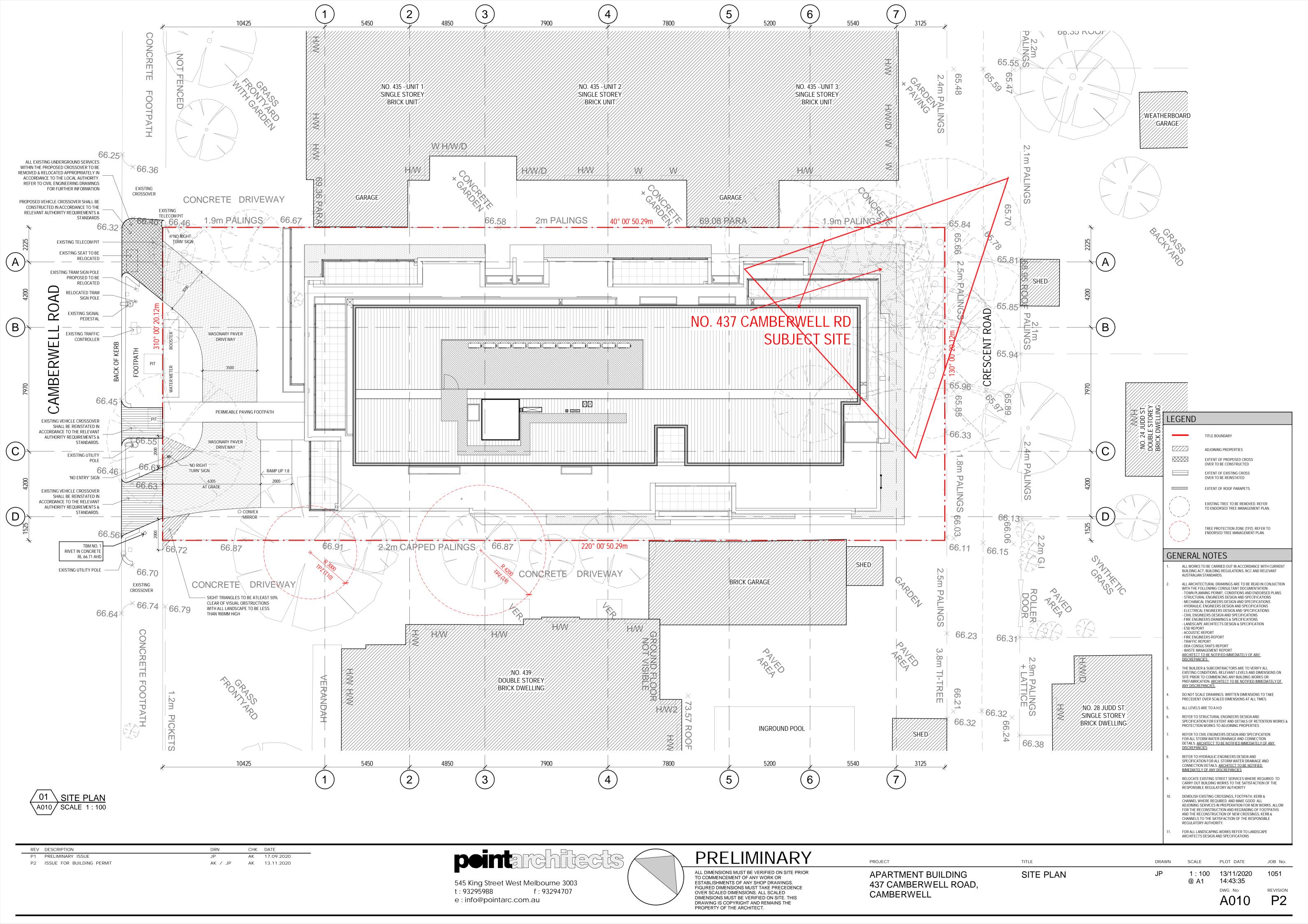
APARTMENT BUILDING 437 CAMBERWELL ROAD, **CAMBERWELL** 

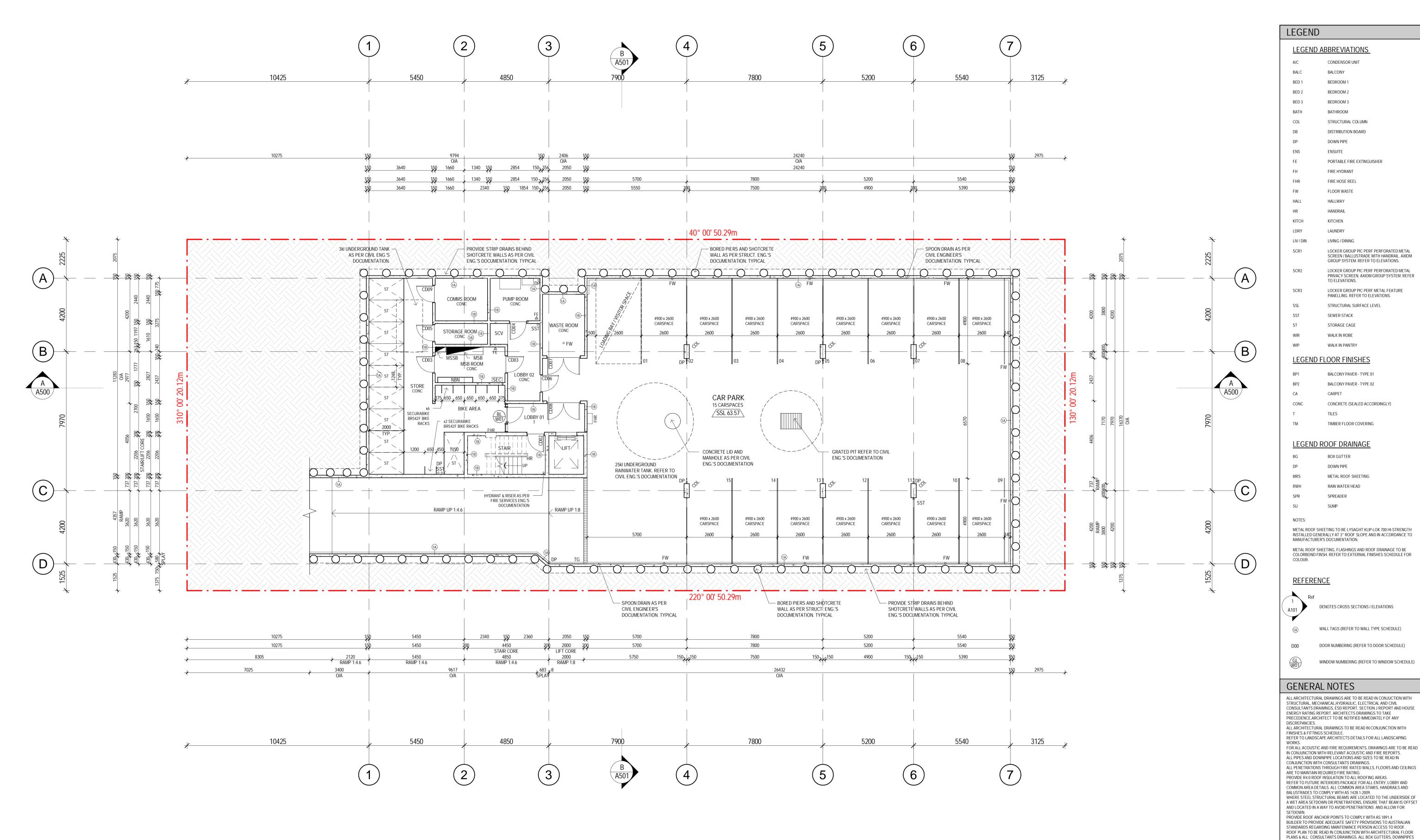
WALL TYPES SHEET

AK / JP

SCALE PLOT DATE 1:10 13/11/2020 @ A1

15:15:45





BASEMENT LEVEL FLOOR PLAN

REV DESCRIPTION DRN CHK DATE P4 PRELIMINARY ISSUE AK 21.08.2020 P5 PRELIMINARY ISSUE 26.08.2020 P6 PRELIMINARY ISSUE 04.09.2020 P7 AMMENDED BASEMENT SMOKE LOBBY 08.09.2020 P8 PRELIMINARY ISSUE AK 08.09.2020 P9 PRELIMINARY ISSUE AK 17.09.2020 P10 PRELIMINARY ISSUE AK 12.10.2020 P11 PRELIMINARY ISSUE AK 04.11.2020 P12 ISSUE FOR BUILDING PERMIT AK 13.11.2020

545 King Street West Melbourne 3003 t: 93295988 f: 93294707 e:info@pointarc.com.au

PROPERTY OF THE ARCHITECT.

**PRELIMINARY** ALL DIMENSIONS MUST BE VERIFIED ON SITE PRIOR

APARTMENT BUILDING TO COMMENCEMENT OF ANY WORK OR 437 CAMBERWELL ROAD, ESTABLISHMENTS OF ANY SHOP DRAWINGS. FIGURED DIMENSIONS MUST TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL SCALED CAMBERWELL DIMENSIONS MUST BE VERIFIED ON SITE. THIS DRAWING IS COPYRIGHT AND REMAINS THE

PROJECT

FLOOR PLAN

BASEMENT LEVEL

DRAWN

FLASHING WHERE SPECIFIED.

SCALE PLOT DATE JOB No. 1:100 13/11/2020 14:43:38 @ A1

FLASHINGS, CAPPINGS & SUMPS TO BE ZINCALUME. ROOF SHEETING TO BE COLORBOND, COLOUR AS SELECTED BY CLIENT. PROVIDE APRON

LINES AND BRACKETS TO BE PROVIDED TO ROOF BY THE CONTRACTOR TO RELEVANT AUSTRALIAN STANDARDS. CONTRACTOR TO LIASE WITH THE STRUCTURAL ENGINEER TO ENSURE ADEQUATE STRUCTURAL SUPPORT AT FIXING POINTS. ALL SERVICES TO ROOF AREA EG. ROOF COWLS, ROOF VENTS ETC TO BE EITHER COLORBOND OR POWDERCOAT FINISH TO MATCH ROOFING FINISH.

CONDENSOR UNIT BALCONY

BEDROOM 1 BEDROOM 2

BEDROOM 3 BATHROOM

DOWN PIPE ENSUITE

FIRE HYDRANT FIRE HOSE REEL

HALLWAY HANDRAIL KITCHEN

LAUNDRY LIVING / DINING

TO FLEVATIONS.

SEWER STACK

STORAGE CAGE WALK IN ROBE WALK IN PANTRY

STRUCTURAL COLUMN DISTRIBUTION BOARD

PORTABLE FIRE EXTINGUISHER

LOCKER GROUP PIC PERF PERFORATED METAL

LOCKER GROUP PIC PERF PERFORATED METAL

PRIVACY SCREEN. AXIOM GROUP SYSTEM. REFER

GROUP SYSTEM, REFER TO ELEVATIONS.

LOCKER GROUP PIC PERF METAL FEATURE PANELLING. REFER TO ELEVATIONS.

STRUCTURAL SURFACE LEVEL

BALCONY PAVER - TYPE 01 BALCONY PAVER - TYPE 02

TIMBER FLOOR COVERING

BOX GUTTER

METAL ROOF SHEETING RAIN WATER HEAD

DENOTES CROSS SECTIONS / ELEVATIONS

WALL TAGS (REFER TO WALL TYPE SCHEDULE)

DOOR NUMBERING (REFER TO DOOR SCHEDULE)

WINDOW NUMBERING (REFER TO WINDOW SCHEDULE)

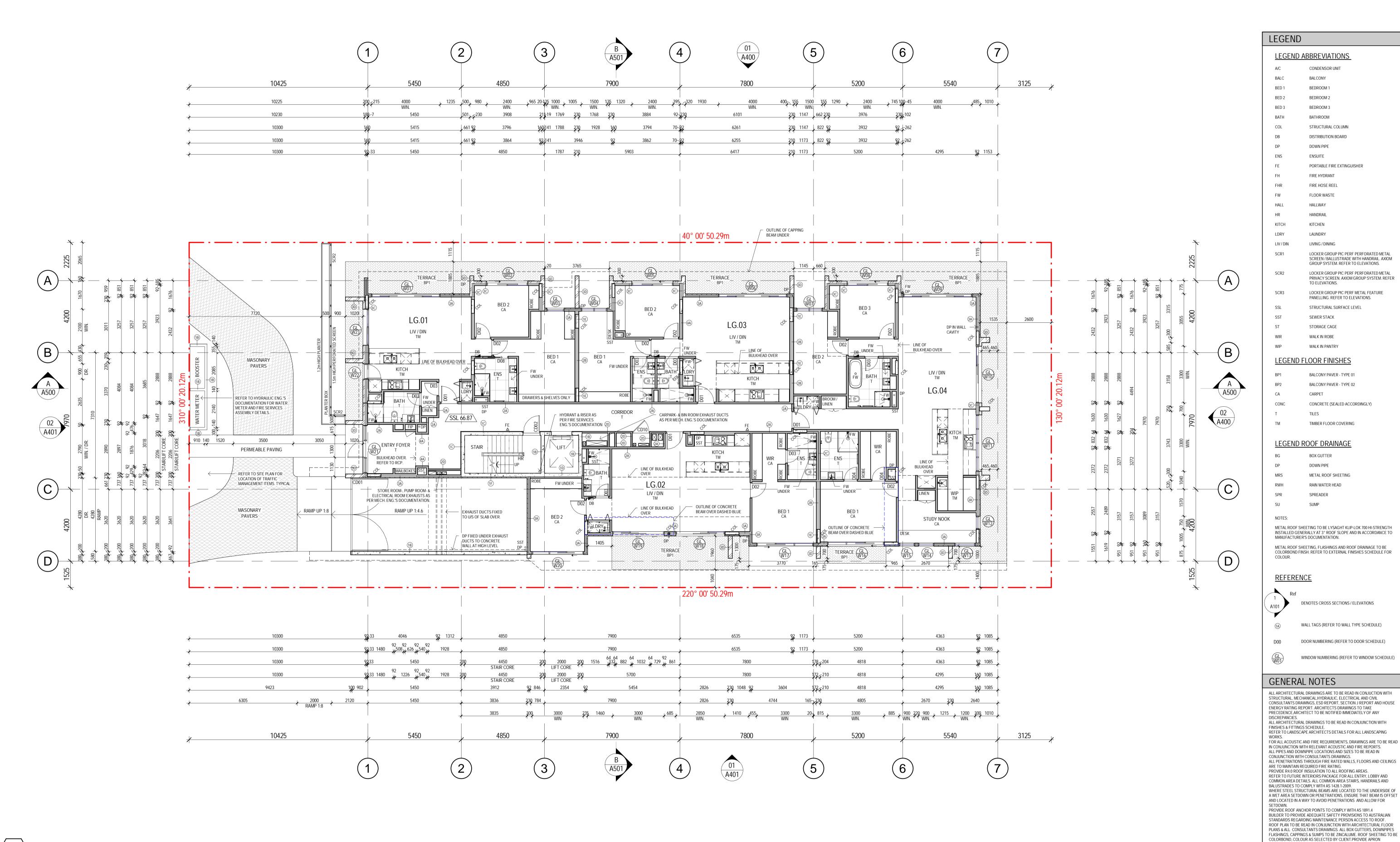
DOWN PIPE

SUMP

CONCRETE (SEALED ACCORDINGLY)

CARPET

SCREEN / BALLUSTRADE WITH HANDRAIL. AXIOM



GROUND LEVEL FLOOR PLAN

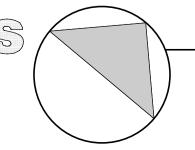
P20 ISSUE FOR BUILDING PERMIT

REV DESCRIPTION DRN CHK DATE P12 DESIGN REVISION2 AK 21.09.2020 P13 DESIGN REVISION3 22.09.2020 P14 DESIGN REVISION4 23.09.2020 P15 DESIGN REVISION5 AK 23.09.2020 P16 DESIGN REVISION6 AK 28.09.2020 P17 ISSUE FOR APPROVAL AK 06.10.2020 P18 PRELIMINARY ISSUE AK 12.10.2020 P19 PRELIMINARY ISSUE AK 04.11.2020

AK 13.11.2020

545 King Street West Melbourne 3003 t: 93295988 f: 93294707

e:info@pointarc.com.au



**PRELIMINARY** 

ALL DIMENSIONS MUST BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF ANY WORK OR ESTABLISHMENTS OF ANY SHOP DRAWINGS. FIGURED DIMENSIONS MUST TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL SCALED CAMBERWELL DIMENSIONS MUST BE VERIFIED ON SITE. THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT.

PROJECT

APARTMENT BUILDING 437 CAMBERWELL ROAD, **GROUND LEVEL FLOOR** PLAN

@ A1

DRAWN

SCALE PLOT DATE 1:100 13/11/2020

LINES AND BRACKETS TO BE PROVIDED TO ROOF BY THE CONTRACTOR TO

CONTRACTOR TO LIASE WITH THE STRUCTURAL ENGINEER TO ENSURE ADEQUATE STRUCTURAL SUPPORT AT FIXING POINTS. ALL SERVICES TO ROOF AREA EG. ROOF COWLS, ROOF VENTS ETC TO BE EITHER COLORBOND OR POWDERCOAT FINISH TO MATCH ROOFING FINISH.

FLASHING WHERE SPECIFIED.

RELEVANT AUSTRALIAN STANDARDS.

CONDENSOR UNIT BALCONY

STRUCTURAL COLUMN DISTRIBUTION BOARD

PORTABLE FIRE EXTINGUISHER

LOCKER GROUP PIC PERF PERFORATED METAL SCREEN / BALLUSTRADE WITH HANDRAIL. AXIOM GROUP SYSTEM, REFER TO ELEVATIONS. LOCKER GROUP PIC PERF PERFORATED METAL

PRIVACY SCREEN. AXIOM GROUP SYSTEM. REFER

LOCKER GROUP PIC PERF METAL FEATURE PANELLING. REFER TO ELEVATIONS. STRUCTURAL SURFACE LEVEL

BEDROOM 1 BEDROOM 2 BEDROOM 3 BATHROOM

DOWN PIPE ENSUITE

FIRE HYDRANT FIRE HOSE REEL

HALLWAY

LAUNDRY

TO ELEVATIONS.

SEWER STACK

STORAGE CAGE

WALK IN ROBE

CARPET

WALK IN PANTRY

BALCONY PAVER - TYPE 01

BALCONY PAVER - TYPE 02

TIMBER FLOOR COVERING

BOX GUTTER

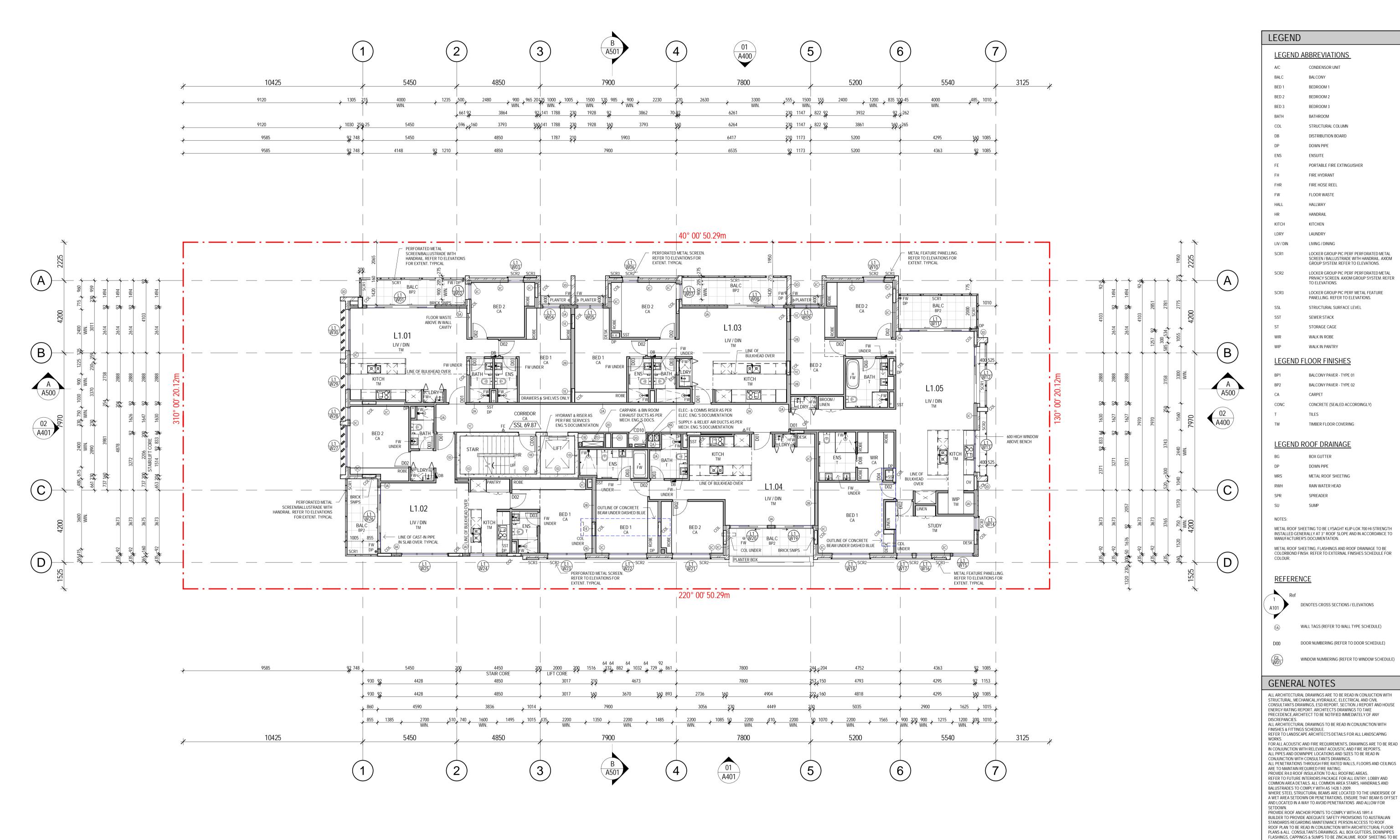
METAL ROOF SHEETING

RAIN WATER HEAD

DOWN PIPE

CONCRETE (SEALED ACCORDINGLY)

14:43:44

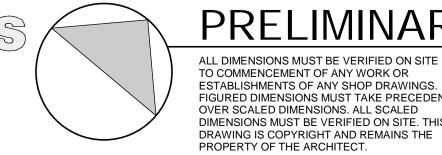


FIRST LEVEL FLOOR PLAN

REV DESCRIPTION DRN CHK DATE P10 DESIGN REVISION3 AK 22.09.2020 P11 DESIGN REVISION4 23.09.2020 P12 DESIGN REVISION5 23.09.2020 P13 DESIGN REVISION6 AK 28.09.2020 P14 DESIGN REVISION7 AK 29.09.2020 P15 ISSUE FOR APPROVAL AK 06.10.2020 P16 PRELIMINARY ISSUE AK 12.10.2020 P17 PRELIMINARY ISSUE AK 04.11.2020 P18 ISSUE FOR BUILDING PERMIT AK 13.11.2020

545 King Street West Melbourne 3003 t: 93295988 f: 93294707

e:info@pointarc.com.au



**PRELIMINARY** ALL DIMENSIONS MUST BE VERIFIED ON SITE PRIOR

APARTMENT BUILDING 437 CAMBERWELL ROAD, CAMBERWELL

FIRST LEVEL FLOOR

DRAWN SCALE PLOT DATE 1:100

FLASHING WHERE SPECIFIED.

JOB No.

COLORBOND, COLOUR AS SELECTED BY CLIENT.PROVIDE APRON

LINES AND BRACKETS TO BE PROVIDED TO ROOF BY THE CONTRACTOR TO RELEVANT AUSTRALIAN STANDARDS. CONTRACTOR TO LIASE WITH THE STRUCTURAL ENGINEER TO ENSURE ADEQUATE STRUCTURAL SUPPORT AT FIXING POINTS. ALL SERVICES TO ROOF AREA EG. ROOF COWLS, ROOF VENTS ETC TO BE EITHER COLORBOND OR POWDERCOAT FINISH TO MATCH ROOFING FINISH.

CONDENSOR UNIT BALCONY

STRUCTURAL COLUMN DISTRIBUTION BOARD

PORTABLE FIRE EXTINGUISHER

LOCKER GROUP PIC PERF PERFORATED METAL

GROUP SYSTEM. REFER TO ELEVATIONS. LOCKER GROUP PIC PERF PERFORATED METAL PRIVACY SCREEN. AXIOM GROUP SYSTEM. REFER

LOCKER GROUP PIC PERF METAL FEATURE PANELLING. REFER TO ELEVATIONS. STRUCTURAL SURFACE LEVEL

SCREEN / BALLUSTRADE WITH HANDRAIL. AXIOM

BEDROOM 1 BEDROOM 2 BEDROOM 3 BATHROOM

DOWN PIPE ENSUITE

FIRE HYDRANT FIRE HOSE REEL

HALLWAY

LAUNDRY LIVING / DINING

TO FLEVATIONS.

SEWER STACK

STORAGE CAGE WALK IN ROBE

WALK IN PANTRY

CARPET

BALCONY PAVER - TYPE 01

BALCONY PAVER - TYPE 02

TIMBER FLOOR COVERING

**BOX GUTTER** DOWN PIPE

METAL ROOF SHEETING RAIN WATER HEAD

DENOTES CROSS SECTIONS / ELEVATIONS

WALL TAGS (REFER TO WALL TYPE SCHEDULE)

DOOR NUMBERING (REFER TO DOOR SCHEDULE)

WINDOW NUMBERING (REFER TO WINDOW SCHEDULE)

CONCRETE (SEALED ACCORDINGLY)

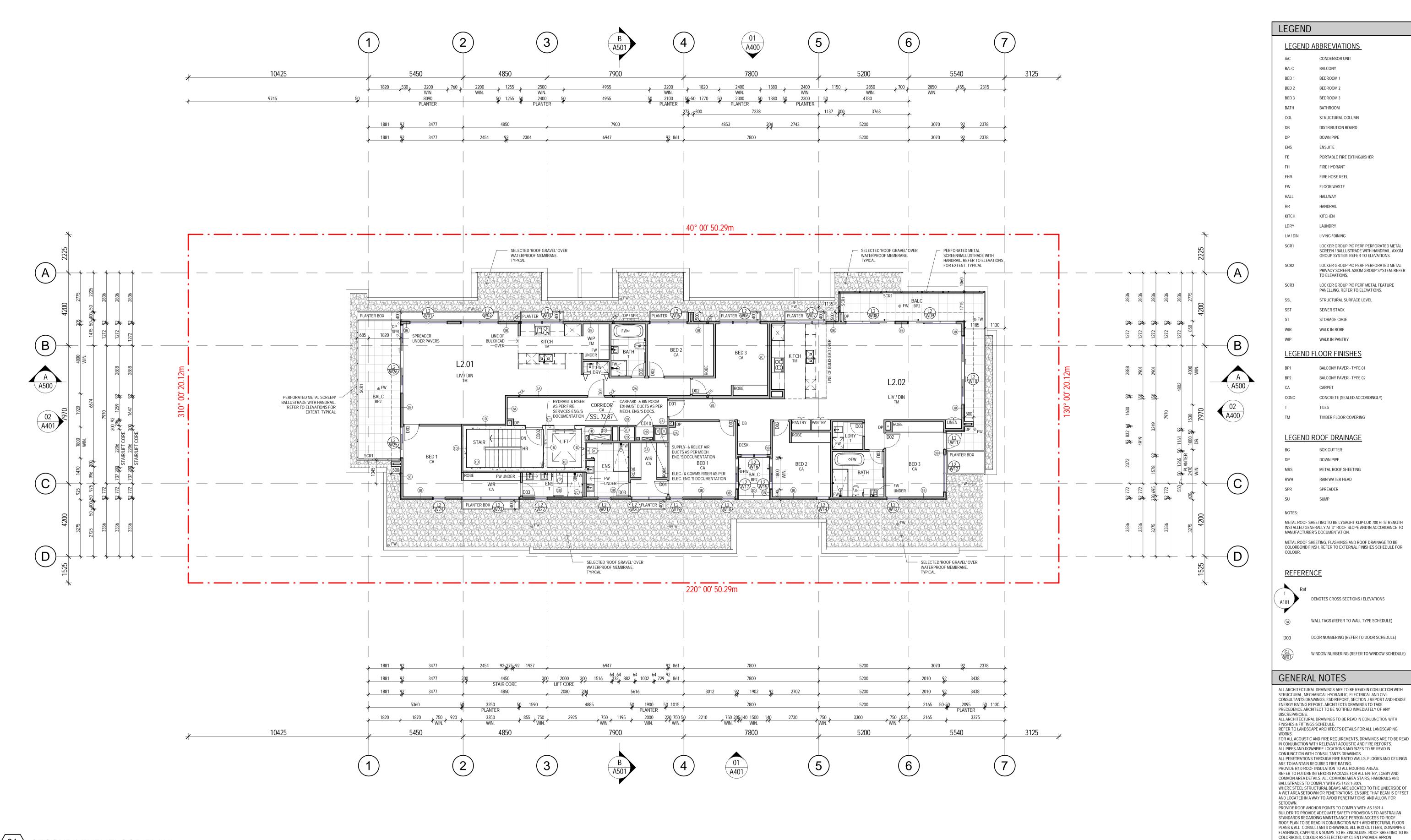
TO COMMENCEMENT OF ANY WORK OR ESTABLISHMENTS OF ANY SHOP DRAWINGS. FIGURED DIMENSIONS MUST TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL SCALED DIMENSIONS MUST BE VERIFIED ON SITE. THIS

PROJECT

PLAN

@ A1

13/11/2020 14:43:50

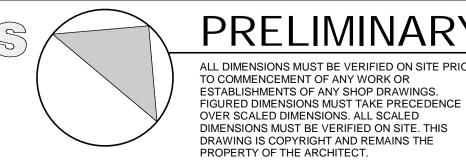


SECOND LEVEL FLOOR PLAN

REV DESCRIPTION DRN CHK DATE P8 DESIGN REVISION4 AK 23.09.2020 P9 DESIGN REVISION5 23.09.2020 P10 DESIGN REVISION6 28.09.2020 P11 DESIGN REVISION7 AK 29.09.2020 P12 DESIGN REVISION8 AK 02.10.2020 P13 ISSUE FOR APPROVAL AK 06.10.2020 P14 PRELIMINARY ISSUE AK 12.10.2020 P15 PRELIMINARY ISSUE AK 04.11.2020 P16 ISSUE FOR BUILDING PERMIT AK 13.11.2020

545 King Street West Melbourne 3003 t: 93295988 f: 93294707

e:info@pointarc.com.au



**PRELIMINARY** ALL DIMENSIONS MUST BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF ANY WORK OR

APARTMENT BUILDING 437 CAMBERWELL ROAD, CAMBERWELL

PROJECT

PLAN

SECOND LEVEL FLOOR

DRAWN SCALE 1:100

FLASHING WHERE SPECIFIED.

PLOT DATE JOB No. 13/11/2020 14:43:55 @ A1

LINES AND BRACKETS TO BE PROVIDED TO ROOF BY THE CONTRACTOR TO RELEVANT AUSTRALIAN STANDARDS. CONTRACTOR TO LIASE WITH THE STRUCTURAL ENGINEER TO ENSURE ADEQUATE STRUCTURAL SUPPORT AT FIXING POINTS. ALL SERVICES TO ROOF AREA EG. ROOF COWLS, ROOF VENTS ETC TO BE EITHER COLORBOND OR POWDERCOAT FINISH TO MATCH ROOFING FINISH.

CONDENSOR UNIT BALCONY

BEDROOM 1 BEDROOM 2

BEDROOM 3 BATHROOM

DOWN PIPE ENSUITE

FIRE HYDRANT FIRE HOSE REEL

HALLWAY HANDRAIL

LAUNDRY LIVING / DINING

TO FLEVATIONS.

SEWER STACK

STORAGE CAGE WALK IN ROBE

WALK IN PANTRY

CARPET

BALCONY PAVER - TYPE 01 BALCONY PAVER - TYPE 02

TIMBER FLOOR COVERING

**BOX GUTTER** 

METAL ROOF SHEETING

RAIN WATER HEAD

DOWN PIPE

CONCRETE (SEALED ACCORDINGLY)

STRUCTURAL COLUMN DISTRIBUTION BOARD

PORTABLE FIRE EXTINGUISHER

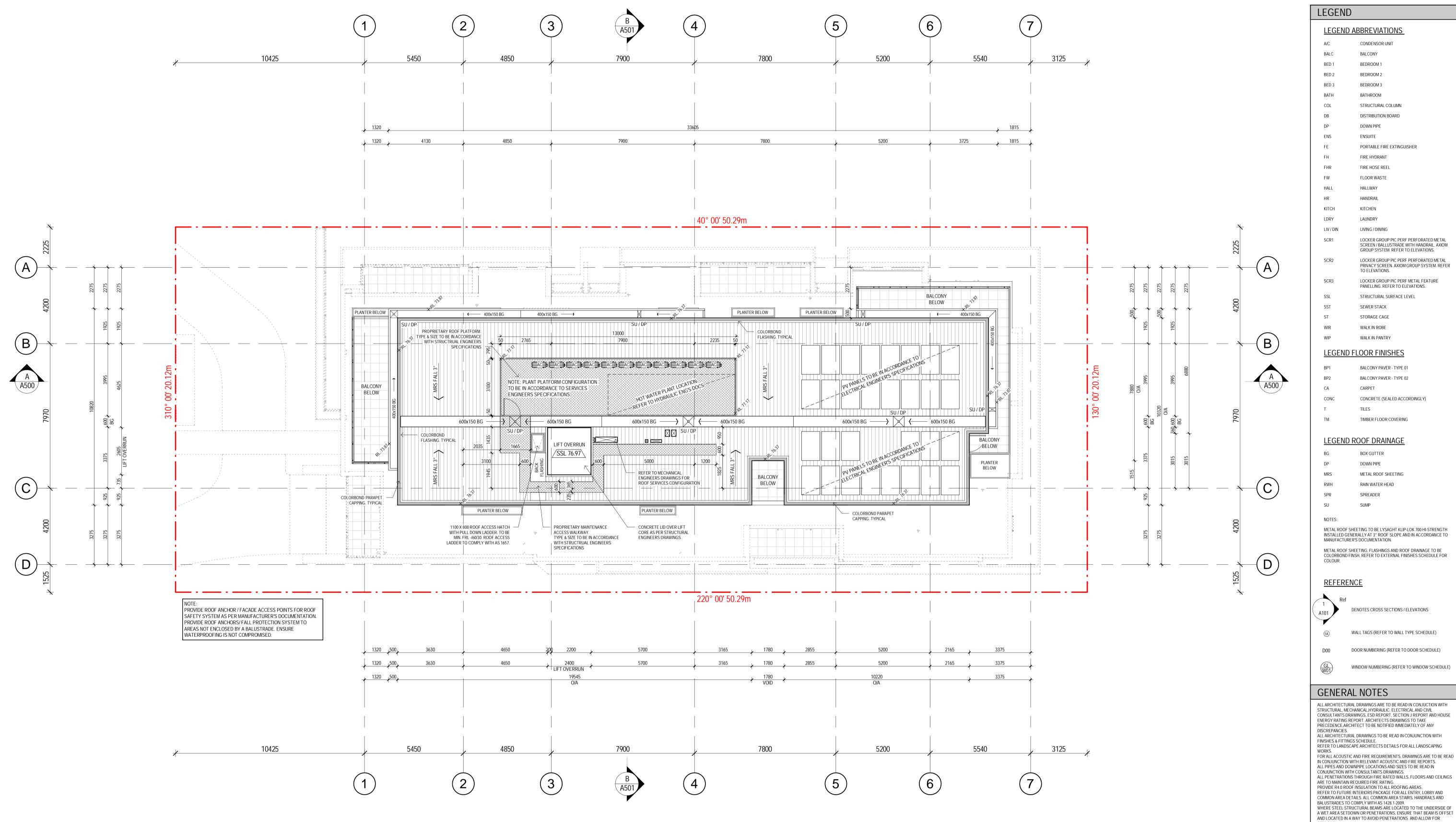
LOCKER GROUP PIC PERF PERFORATED METAL

GROUP SYSTEM. REFER TO ELEVATIONS.

LOCKER GROUP PIC PERF METAL FEATURE PANELLING. REFER TO ELEVATIONS. STRUCTURAL SURFACE LEVEL

SCREEN / BALLUSTRADE WITH HANDRAIL. AXIOM

LOCKER GROUP PIC PERF PERFORATED METAL PRIVACY SCREEN. AXIOM GROUP SYSTEM. REFER



**LEGEND ABBREVIATIONS** CONDENSOR UNIT BALCONY BEDROOM 1 BEDROOM 2 BED 3 BEDROOM 3 BATHROOM STRUCTURAL COLUMN DISTRIBUTION BOARD DOWN PIPE ENSUITE PORTABLE FIRE EXTINGUISHER FIRE HYDRANT FIRE HOSE REEL HALLWAY LAUNDRY LOCKER GROUP PIC PERF PERFORATED METAL SCREEN / BALLUSTRADE WITH HANDRAIL. AXIOM GROUP SYSTEM. REFER TO ELEVATIONS. LOCKER GROUP PIC PERF PERFORATED METAL PRIVACY SCREEN. AXIOM GROUP SYSTEM. REFER TO ELEVATIONS. LOCKER GROUP PIC PERF METAL FEATURE PANELLING. REFER TO ELEVATIONS. STRUCTURAL SURFACE LEVEL SEWER STACK STORAGE CAGE WALK IN ROBE WALK IN PANTRY **LEGEND FLOOR FINISHES** BALCONY PAVER - TYPE 01 BALCONY PAVER - TYPE 02 CARPET CONC CONCRETE (SEALED ACCORDINGLY) TIMBER FLOOR COVERING LEGEND ROOF DRAINAGE **BOX GUTTER** DOWN PIPE METAL ROOF SHEETING RAIN WATER HEAD METAL ROOF SHEETING TO BE LYSAGHT KLIP-LOK 700 HI-STRENGTH INSTALLED GENERALLY AT 3° ROOF SLOPE AND IN ACCORDANCE TO MANUFACTURER'S DOCUMENTATION. METAL ROOF SHEETING, FLASHINGS AND ROOF DRAINAGE TO BE COLORBOND FINSH. REFER TO EXTERNAL FINISHES SCHEDULE FOR REFERENCE DENOTES CROSS SECTIONS / ELEVATIONS WALL TAGS (REFER TO WALL TYPE SCHEDULE) DOOR NUMBERING (REFER TO DOOR SCHEDULE) WINDOW NUMBERING (REFER TO WINDOW SCHEDULE) GENERAL NOTES ALL ARCHITECTURAL DRAWINGS ARE TO BE READ IN CONJUCTION WITH STRUCTURAL, MECHANICAL, HYDRAULIC, ELECTRICAL AND CIVIL CONSULTANTS DRAWINGS, ESD REPORT, SECTION J REPORT AND HOUSE ENERGY RATING REPORT. ARCHITECTS DRAWINGS TO TAKE PRECEDENCE, ARCHITECT TO BE NOTIFIED IMMEDIATELY OF ANY

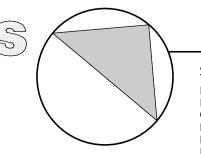
P9 ISSUE FOR BUILDING PERMIT

REV DESCRIPTION DRN CHK DATE P1 PRELIMINARY ISSUE AK 28.07.2020 P2 PRELIMINARY ISSUE 31.07.2020 P3 PRELIMINARY ISSUE 21.08.2020 P4 PRELIMINARY ISSUE AK 08.09.2020 P5 PRELIMINARY ISSUE AK 15.09.2020 P6 PRELIMINARY ISSUE AK 17.09.2020 P7 PRELIMINARY ISSUE AK 12.10.2020 P8 PRELIMINARY ISSUE AK 04.11.2020

AK 13.11.2020

545 King Street West Melbourne 3003 t: 93295988 f: 93294707

e:info@pointarc.com.au



ALL DIMENSIONS MUST BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF ANY WORK OR ESTABLISHMENTS OF ANY SHOP DRAWINGS. FIGURED DIMENSIONS MUST TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL SCALED DIMENSIONS MUST BE VERIFIED ON SITE. THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT.

APARTMENT BUILDING 437 CAMBERWELL ROAD, CAMBERWELL

PROJECT

**ROOF PLAN** 

DRAWN SCALE PLOT DATE

@ A1

FLASHING WHERE SPECIFIED.

PROVIDE ROOF ANCHOR POINTS TO COMPLY WITH AS 1891.4 BUILDER TO PROVIDE ADEQUATE SAFETY PROVISIONS TO AUSTRALIAN STANDARDS REGARDING MAINTENANCE PERSON ACCESS TO ROOF. ROOF PLAN TO BE READ IN CONJUNCTION WITH ARCHITECTURAL FLOOR PLANS & ALL CONSULTANTS DRAWINGS. ALL BOX GUTTERS, DOWNPIPES FLASHINGS, CAPPINGS & SUMPS TO BE ZINCALUME. ROOF SHEETING TO BE COLORBOND, COLOUR AS SELECTED BY CLIENT. PROVIDE APRON

LINES AND BRACKETS TO BE PROVIDED TO ROOF BY THE CONTRACTOR TO RELEVANT AUSTRALIAN STANDARDS. CONTRACTOR TO LIASE WITH THE STRUCTURAL ENGINEER TO ENSURE ADEQUATE STRUCTURAL SUPPORT AT FIXING POINTS. ALL SERVICES TO ROOF AREA EG. ROOF COWLS, ROOF VENTS ETC TO BE EITHER COLORBOND OR POWDERCOAT FINISH TO MATCH ROOFING FINISH.

> 1:100 13/11/2020 14:43:57



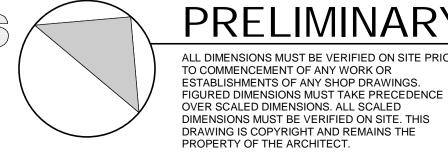
REV DESCRIPTION DRN CHK DATE P1 PRELIMINARY ISSUE AK 07.08.2020 P2 PRELIMINARY ISSUE AK 21.08.2020 P3 PRELIMINARY ISSUE AK 26.08.2020 AK 17.09.2020 P4 PRELIMINARY ISSUE P5 PRELIMINARY ISSUE AK 12.10.2020 P6 ISSUE FOR BUILDING PERMIT AK 13.11.2020

545 King Street West Melbourne 3003

f: 93294707

t: 93295988

e : info@pointarc.com.au



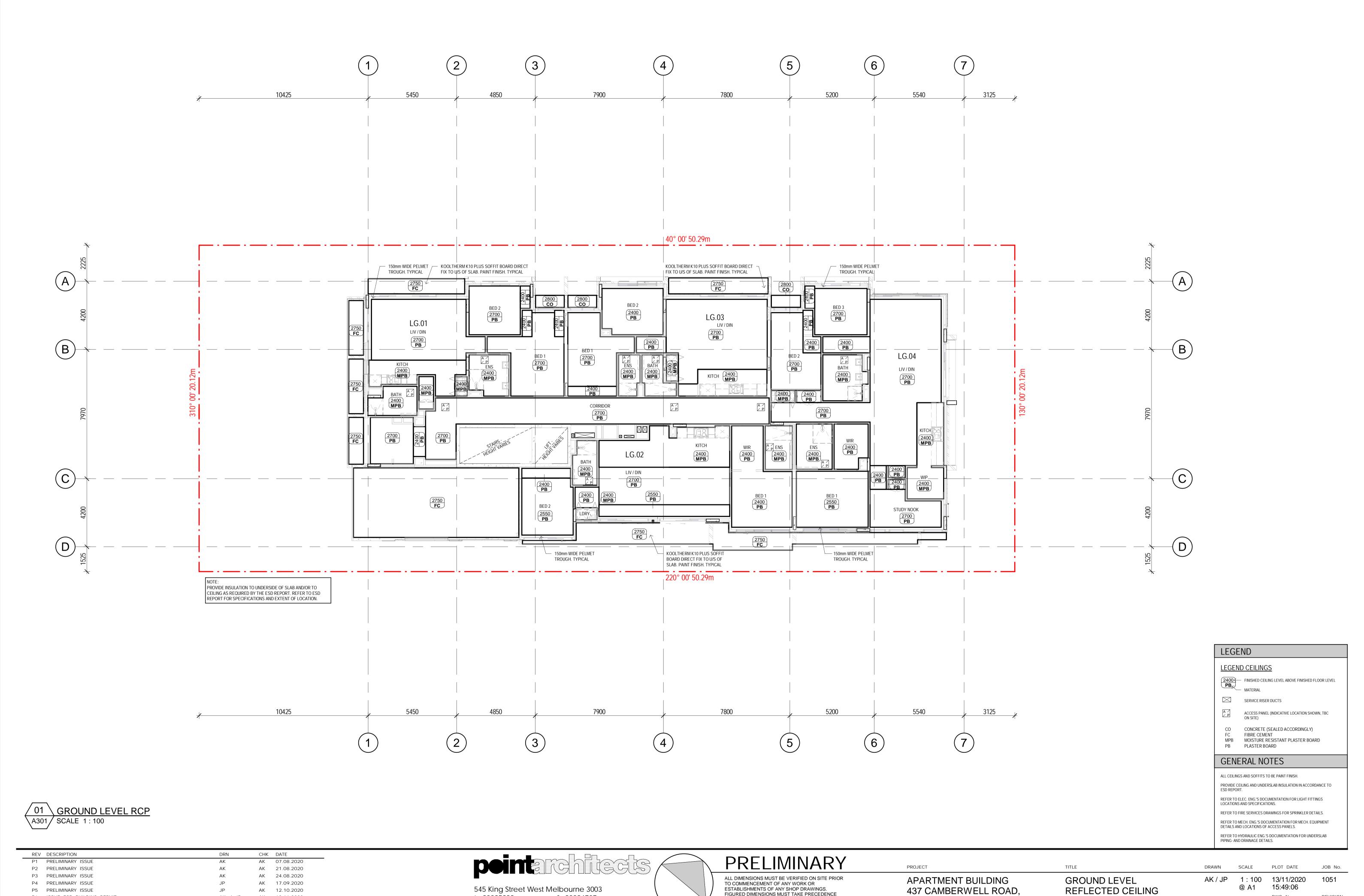
ALL DIMENSIONS MUST BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF ANY WORK OR ESTABLISHMENTS OF ANY SHOP DRAWINGS.

APARTMENT BUILDING 437 CAMBERWELL ROAD, CAMBERWELL

PROJECT

TITLE BASEMENT LEVEL REFLECTED CEILING PLAN

PLOT DATE DRAWN SCALE AK / JP 1:100 13/11/2020 @ A1 15:49:01



FIGURED DIMENSIONS MUST TAKE PRECEDENCE

DIMENSIONS MUST BE VERIFIED ON SITE. THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT.

OVER SCALED DIMENSIONS. ALL SCALED

CAMBERWELL

PLAN

P5 PRELIMINARY ISSUE

P6 ISSUE FOR BUILDING PERMIT

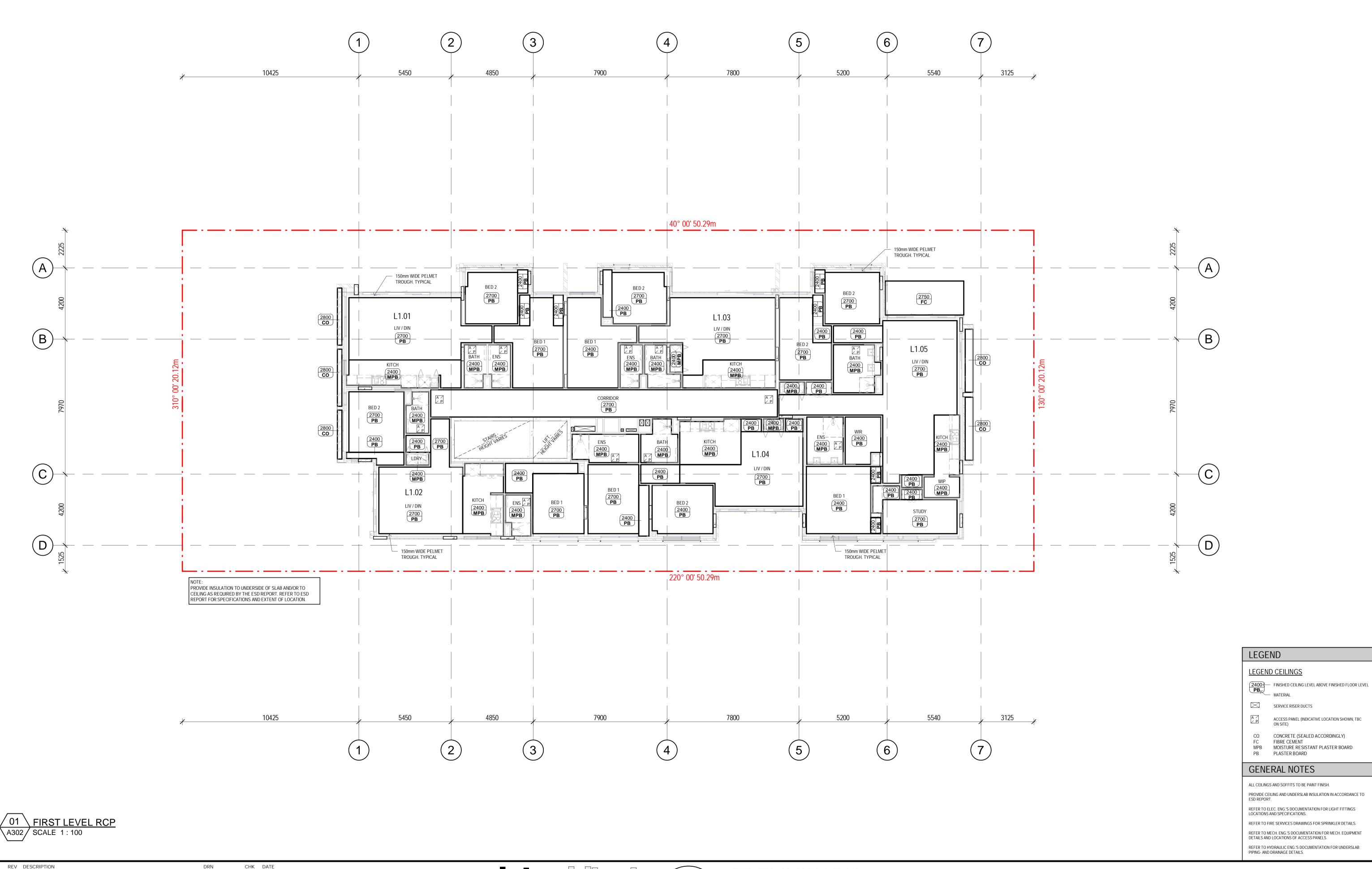
AK 12.10.2020

t: 93295988

e : info@pointarc.com.au

f: 93294707

AK 13.11.2020



REV DESCRIPTION P1 PRELIMINARY ISSUE P2 PRELIMINARY ISSUE P3 PRELIMINARY ISSUE P4 PRELIMINARY ISSUE P5 PRELIMINARY ISSUE P6 ISSUE FOR BUILDING PERMIT

AK 07.08.2020

AK 21.08.2020

AK 24.08.2020

AK 17.09.2020

AK 12.10.2020

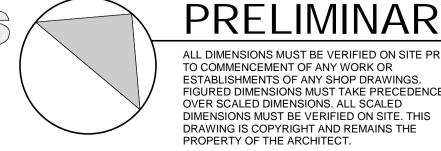
AK 13.11.2020

545 King Street West Melbourne 3003

f: 93294707

t: 93295988

e : info@pointarc.com.au



ALL DIMENSIONS MUST BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF ANY WORK OR ESTABLISHMENTS OF ANY SHOP DRAWINGS. FIGURED DIMENSIONS MUST TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL SCALED

APARTMENT BUILDING 437 CAMBERWELL ROAD, CAMBERWELL

PROJECT

FIRST LEVEL REFLECTED CEILING PLAN

TITLE

DRAWN

SCALE PLOT DATE AK / JP 1:100 13/11/2020 @ A1 15:49:11



t: 93295988

e : info@pointarc.com.au

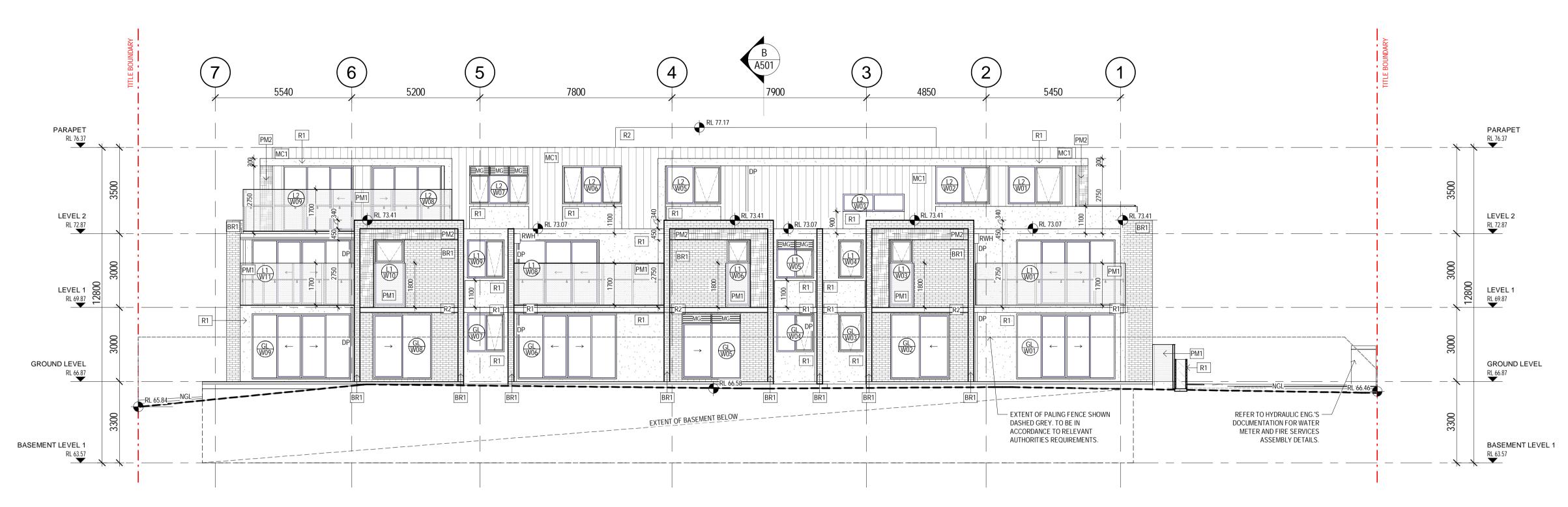
f: 93294707

FIGURED DIMENSIONS MUST TAKE PRECEDENCE

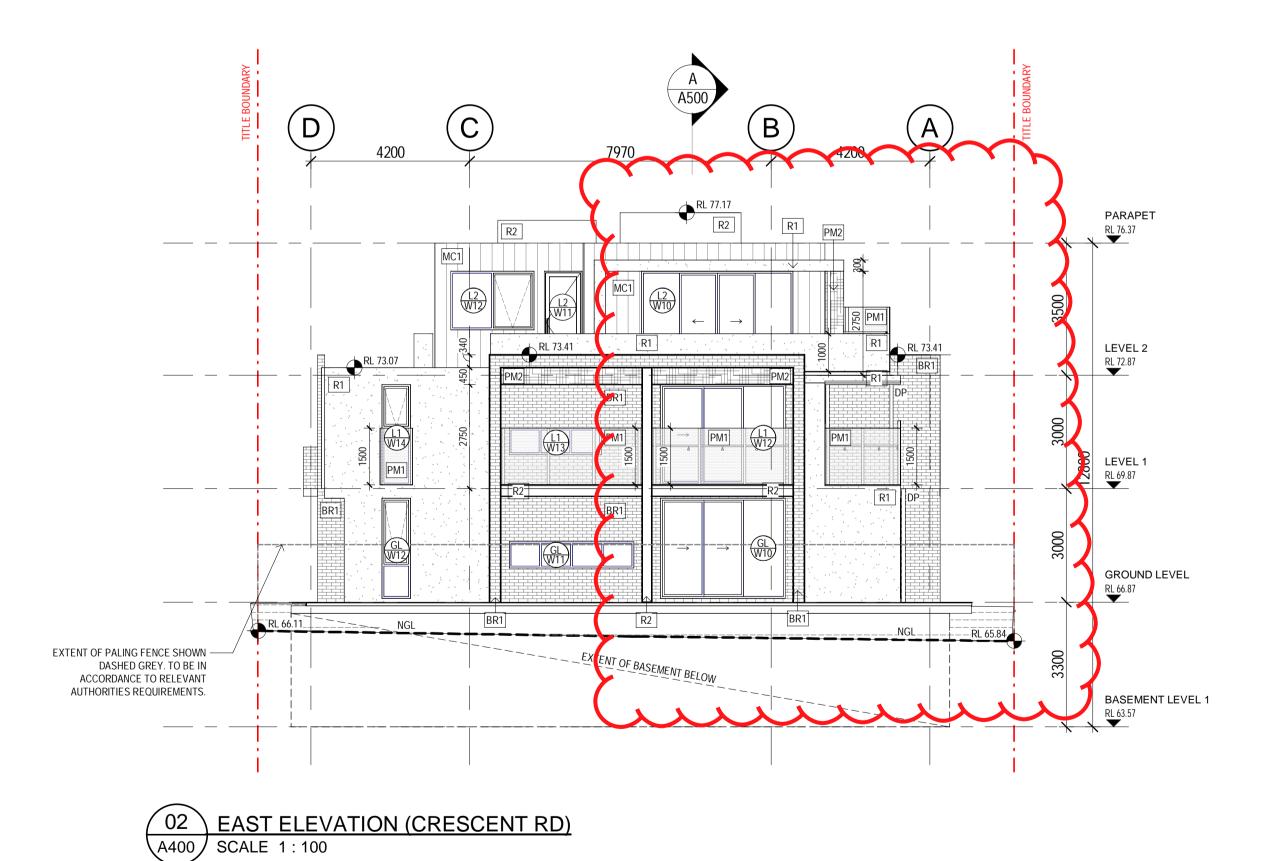
CAMBERWELL

PLAN

OVER SCALED DIMENSIONS. ALL SCALED DIMENSIONS MUST BE VERIFIED ON SITE. THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT.



01 NORTH ELEVATION A400 | SCALE 1:100



LEGEND		GENERAL NOTES
EXTERNAL FINISHES  BR1 BRICKS COLOUR: 'ALTITUDE OLYMPUS' TYPE: PGH BRICKS  MC1 METAL CLADDING COLOUR: COLORBOND 'WINDSPRAY' TYPE: LYSAGHT COLORBOND STANDING SEAM STEEL (VERTICAL DIRECTION)  R1 RENDER FINISH 1 COLOUR: DULLUX 'TAIHAPE' TYPE: SMOOTH  R2 RENDER FINISH 2 COLOUR: DULLUX 'CHARCOAL LIGHT' TYPE: SMOOTH  PM1 PERFORATED METAL SCREEN 1 COLOUR: POWDERCOATED INTERPON SABLE CORE TEN TYPE: LOCKER GROUP PIC PERF 'CUSTOM ORGANIC PATTERN' WITH AXIOM GROUP FRAMING SYSTEM. NOTE: MAX 25% VISUAL PERMEABILITY	GENERAL  DP DOWN PIPE COLOUR FINISH TO MATCH SURROUND  RWH RAIN WATER HEAD COLOUR FINISH TO MATCH SURROUND  MG MECHANICAL EXHAUST GRILLE REFER TO MECH ENGINEERS DRAWINGS  NGL NATURAL GROUND LEVEL. REFER TO SURVEY FOR FURTHER INFORMATION.  GL WINDOW NUMBERING  ALUMINIUM DOOR- AND WINDOW FRAMES POWDER COAT FINISH DULUX NIGHT SKY	ALL ARCHITECTURAL DRAWINGS ARE TO BE READ IN CONJUCTION WITH TOWN PLANNING CONDITIONS AND ALL OTHER CONSULTANTS DOCUMENTATION (STRUCTURAL, MECHANICAL, HYDRAULIC, ELECTRICAL AND CIVIL ENGINEERS). ARCHITECT TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.  ARCHITECTURAL DRAWINGS TO BE READ IN CONJUNCTION WITH FINISHES & FITTINGS SCHEDULE.  DRAWING TO BE READ IN CONJUNCTION WITH WINDOW SCHEDULE AND WALL TYPES. ARCHITECT TO BE NOTIFIED OF ANY DISCREPANCIES IMMEDIATELY.  SELECTED POWDERCOAT FINISH TO MECHANICAL GRILLES TO MATCH SURROUNDING WINDOW FRAME. WHERE A GRILL IS ON FACADE, GRILL FINISH TO MATCH SURROUNDING WINDOW FRAME. WHERE A GRILL IS ON FACADE, GRILL FINISH TO DE INSTALLED IN ACCORDANCE WITH AS 1288 AND ESD REPORT.  ALL WINDOWS TO BE INSTALLED IN ACCORDANCE WITH AS 2047.  ALL EXHAUST/MECHANICAL VENTILLATION TO BATHROOMS AND LAUNDRIES TO COMPLY WITH AS 1668.2.  MATERIALS, SPECIFICATIONS AND FIXING DETAILS FOR FACADE LOUVRES AND FACADE WINDOW FEATURE FRAMES ARE TO BE CONFIRMED BY THE CLIENT.  STRUCTURAL ENGINEERS TO PROVIDE RECESSED STITCH PLATES IN SLAB FOR LOUVRE FIXINGS. REFER TO SLAB SET OUT PLANS AND LOUVRE SCHEDULE FOR LOCATIONS.
WITH AXIOM GROUP FRAMING SYSTEM.		SLAB FOR LOUVRE FIXINGS. REFER TO SLAB SET OUT PLANS AND

REV DESCRIPTION DRN CHK DATE P1 PRELIMINARY ISSUE AK 07.08.2020 AK 27.08.2020 P2 PRELIMINARY ISSUE P3 PRELIMINARY ISSUE AK 08.09.2020 P4 PRELIMINARY ISSUE AK 17.09.2020 P5 ISSUE FOR BUILDING PERMIT AK 13.11.2020

545 King Street West Melbourne 3003 t: 93295988 f: 93294707

e : info@pointarc.com.au

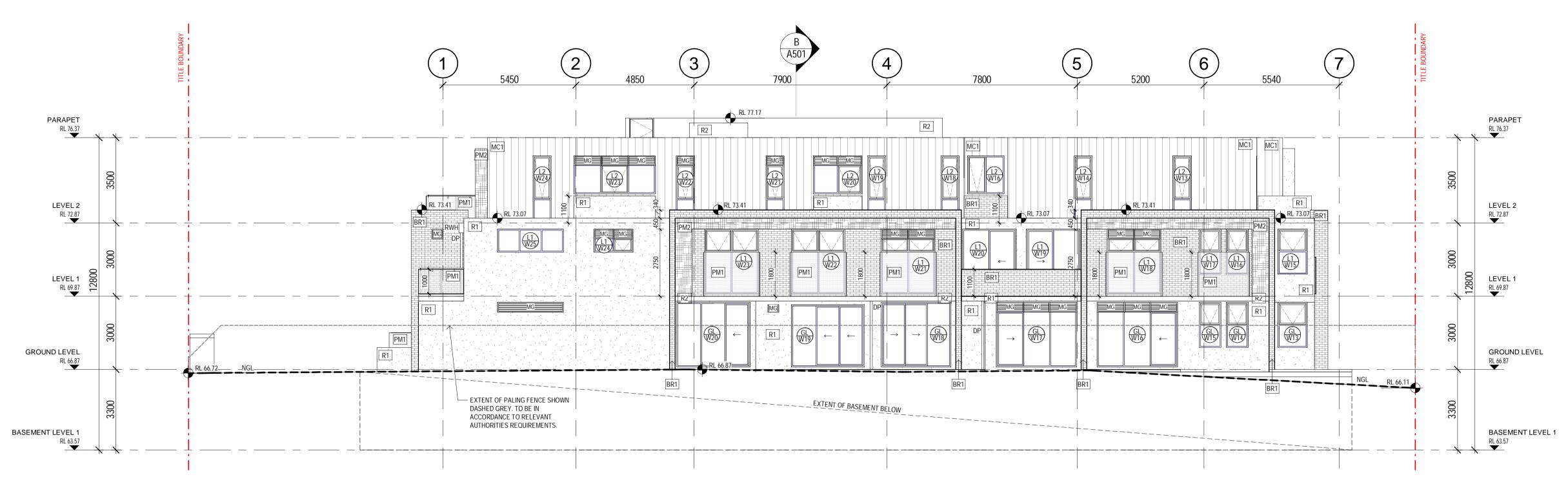
**PRELIMINARY** ALL DIMENSIONS MUST BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF ANY WORK OR ESTABLISHMENTS OF ANY SHOP DRAWINGS. FIGURED DIMENSIONS MUST TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL SCALED DIMENSIONS MUST BE VERIFIED ON SITE. THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT.

PROJECT APARTMENT BUILDING 437 CAMBERWELL ROAD, CAMBERWELL

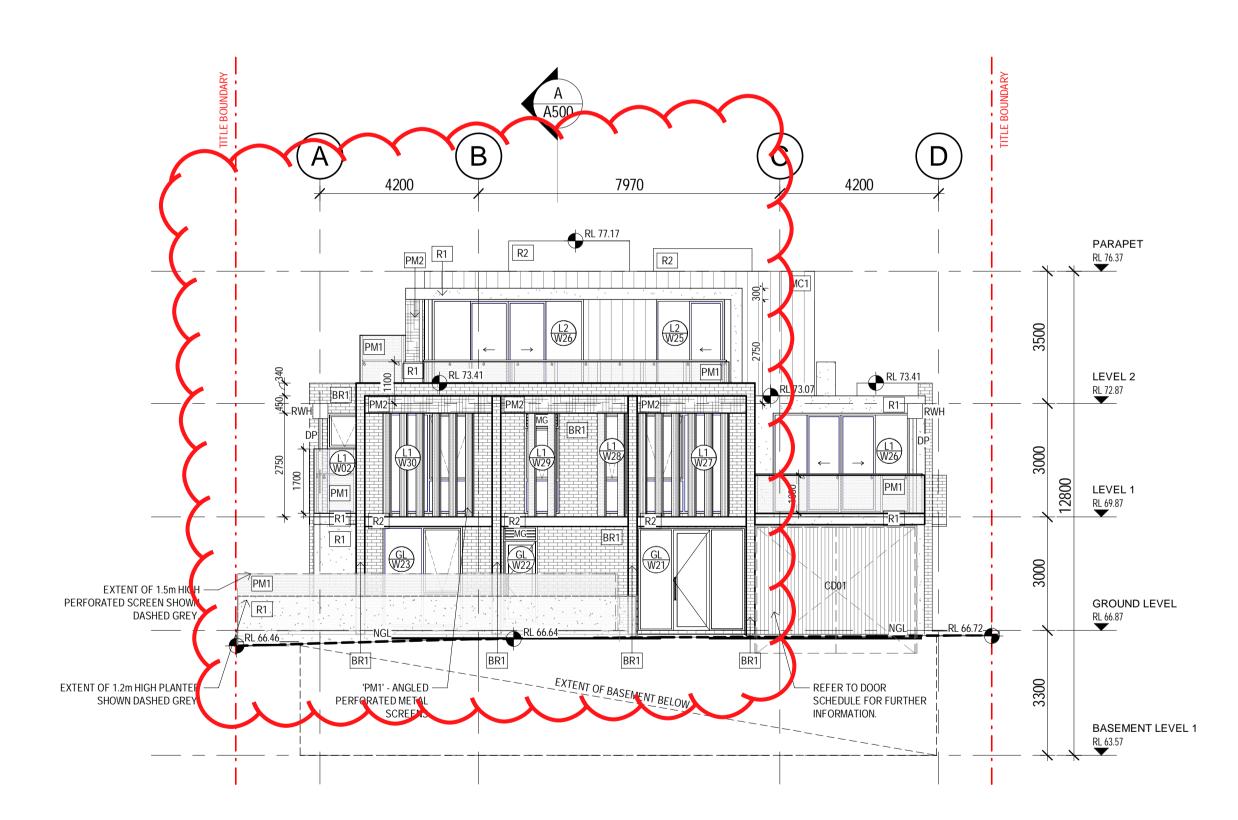
**ELEVATIONS 1** 

DRAWN SCALE

PLOT DATE AK / JP 1:100 13/11/2020 @ A1 14:44:18 A400



01 SOUTH ELEVATION A401 | SCALE 1:100



02 WEST ELEVATION (CAMBERWELL RD)
A401 SCALE 1:100

LEGEND		GENERAL NOTES
EXTERNAL FINISHES  BR1 BRICKS COLOUR: 'ALTITUDE OLYMPUS' TYPE: PGH BRICKS  MC1 METAL CLADDING COLOUR: COLORBOND 'WINDSPRAY' TYPE: LYSAGHT COLORBOND STANDING SEAM STEEL (VERTICAL DIRECTION)  R1 RENDER FINISH 1 COLOUR: DULUX 'TAIHAPE' TYPE: SMOOTH  R2 RENDER FINISH 2 COLOUR: DULUX 'CHARCOAL LIGHT' TYPE: SMOOTH  PM1 PERFORATED METAL SCREEN 1 COLOUR: POWDERCOATED INTERPON SABLE CORE TEN TYPE: LOCKER GROUP PIC PERF 'CUSTOM ORGANIC PATTERN' WITH AXIOM GROUP FRAMING SYSTEM. NOTE: MAX 25% VISUAL PERMEABILITY  PM2 PERFORATED METAL SCREEN 2 COLOUR: POWDERCOATED INTERPON SABLE CORE TEN TYPE: LOCKER GROUP PIC PERF 'CUSTOM ORGANIC PATTERN' RELIEF' WITH AXIOM GROUP FRAMING SYSTEM. NOTE: MAX 5% VISUAL PERMEABILITY	GENERAL  DP DOWN PIPE COLOUR FINISH TO MATCH SURROUND  RWH RAIN WATER HEAD COLOUR FINISH TO MATCH SURROUND  MG MECHANICAL EXHAUST GRILLE REFER TO MECH ENGINEERS DRAWINGS  NGL NATURAL GROUND LEVEL. REFER TO SURVEY FOR FURTHER INFORMATION.  GL WINDOW NUMBERING  ALUMINIUM DOOR- AND WINDOW FRAMES POWDER COAT FINISH DULUX NIGHT SKY	ALL ARCHITECTURAL DRAWINGS ARE TO BE READ IN CONJUCTION WITH TOWN PLANNING CONDITIONS AND ALL OTHER CONSULTANTS DOCUMENTATION (STRUCTURAL, MECHANICAL, HYDRAULIC, ELECTRICAL AND CIVIL ENGINEERS). ARCHITECT TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES. ARCHITECTURAL DRAWINGS TO BE READ IN CONJUNCTION WITH FINISHES & FITTINGS SCHEDULE. DRAWING TO BE READ IN CONJUNCTION WITH WINDOW SCHEDULE AND WALL TYPES. ARCHITECT TO BE NOTIFIED OF ANY DISCREPANCIES IMMEDIATELY. SELECTED POWDERCOAT FINISH TO MECHANICAL GRILLES TO MATCH SURROUNDING WINDOW FRAME. WHERE A GRILL IS ON FACADE, GRILL FINISH TO MATCH SURROUNDING WALL FINIS. ALL GLAZING TO BE INSTALLED IN ACCORDANCE WITH AS 1288 AND ESD REPORT. ALL WINDOWS TO BE INSTALLED IN ACCORDANCE WITH AS 2047. ALL EXHAUST/MECHANICAL VENTILLATION TO BATHROOMS AND LAUNDRIES TO COMPLY WITH AS 1668.2. MATERIALS, SPECIFICATIONS AND FIXING DETAILS FOR FACADE LOUVRES AND FACADE WINDOW FEATURE FRAMES ARE TO BE CONFIRMED BY THE CLIENT. STRUCTURAL ENGINEERS TO PROVIDE RECESSED STITCH PLATES IN SLAB FOR LOUVRE FIXINGS. REFER TO SLAB SET OUT PLANS AND LOUVRE SCHEDULE FOR LOCATIONS.

REV DESCRIPTION DRN CHK DATE P1 PRELIMINARY ISSUE AK 07.08.2020 AK 27.08.2020 P2 PRELIMINARY ISSUE P3 PRELIMINARY ISSUE AK 08.09.2020 P4 PRELIMINARY ISSUE AK 17.09.2020 P5 ISSUE FOR BUILDING PERMIT AK 13.11.2020

545 King Street West Melbourne 3003 t: 93295988 f: 93294707

e : info@pointarc.com.au

**PRELIMINARY** ALL DIMENSIONS MUST BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF ANY WORK OR ESTABLISHMENTS OF ANY SHOP DRAWINGS. FIGURED DIMENSIONS MUST TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL SCALED DIMENSIONS MUST BE VERIFIED ON SITE. THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT.

APARTMENT BUILDING 437 CAMBERWELL ROAD, CAMBERWELL

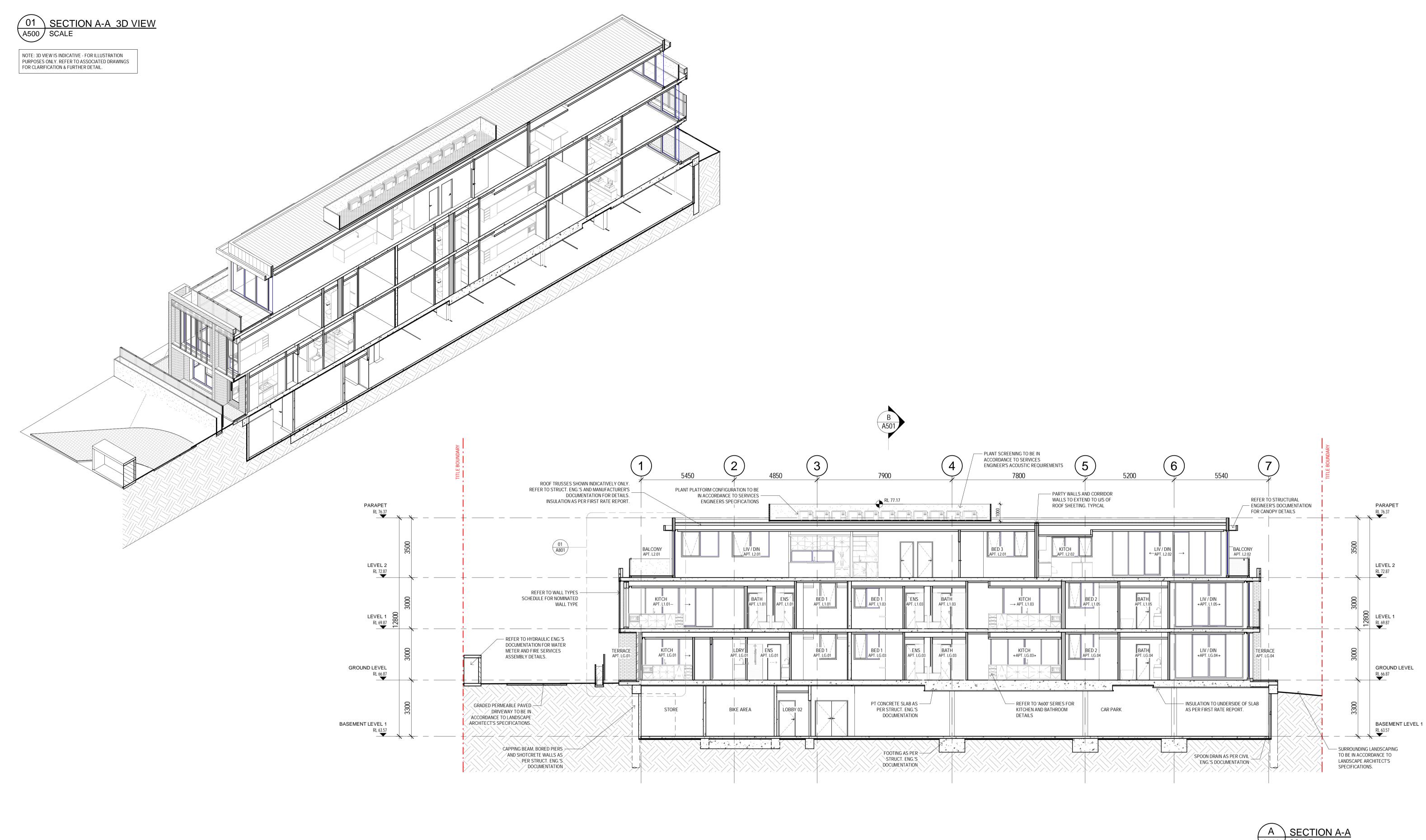
PROJECT

**ELEVATIONS 2** 

SCALE

PLOT DATE AK / JP 1:100 13/11/2020 @ A1 14:44:28

A401



REV DESCRIPTION DRN CHK DATE P1 PRELIMINARY ISSUE AK 08.09.2020 P2 PRELIMINARY ISSUE AK 17.09.2020 P3 ISSUE FOR BUILDING PERMIT AK 13.11.2020

545 King Street West Melbourne 3003 t: 93295988 f: 93294707

e : info@pointarc.com.au

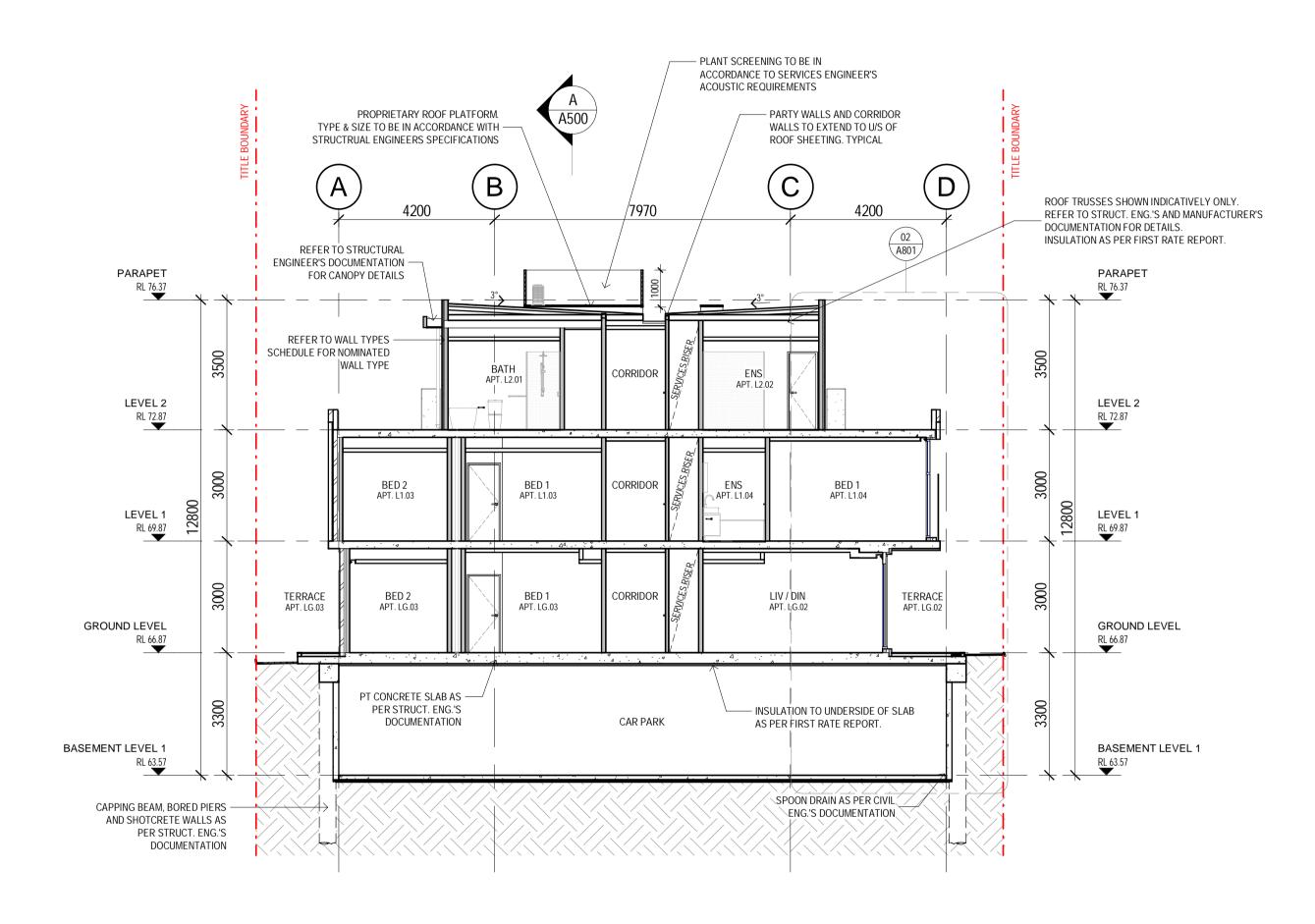
PREL	<u>IMINARY</u>
TO COMMENCEME ESTABLISHMENTS FIGURED DIMENSI OVER SCALED DIM DIMENSIONS MUST	MUST BE VERIFIED ON SITE PRIOR NT OF ANY WORK OR OF ANY SHOP DRAWINGS. ONS MUST TAKE PRECEDENCE MENSIONS. ALL SCALED T BE VERIFIED ON SITE. THIS 'RIGHT AND REMAINS THE E ARCHITECT.

APARTMENT BUILDING
437 CAMBERWELL ROAD,
CAMBERWELL

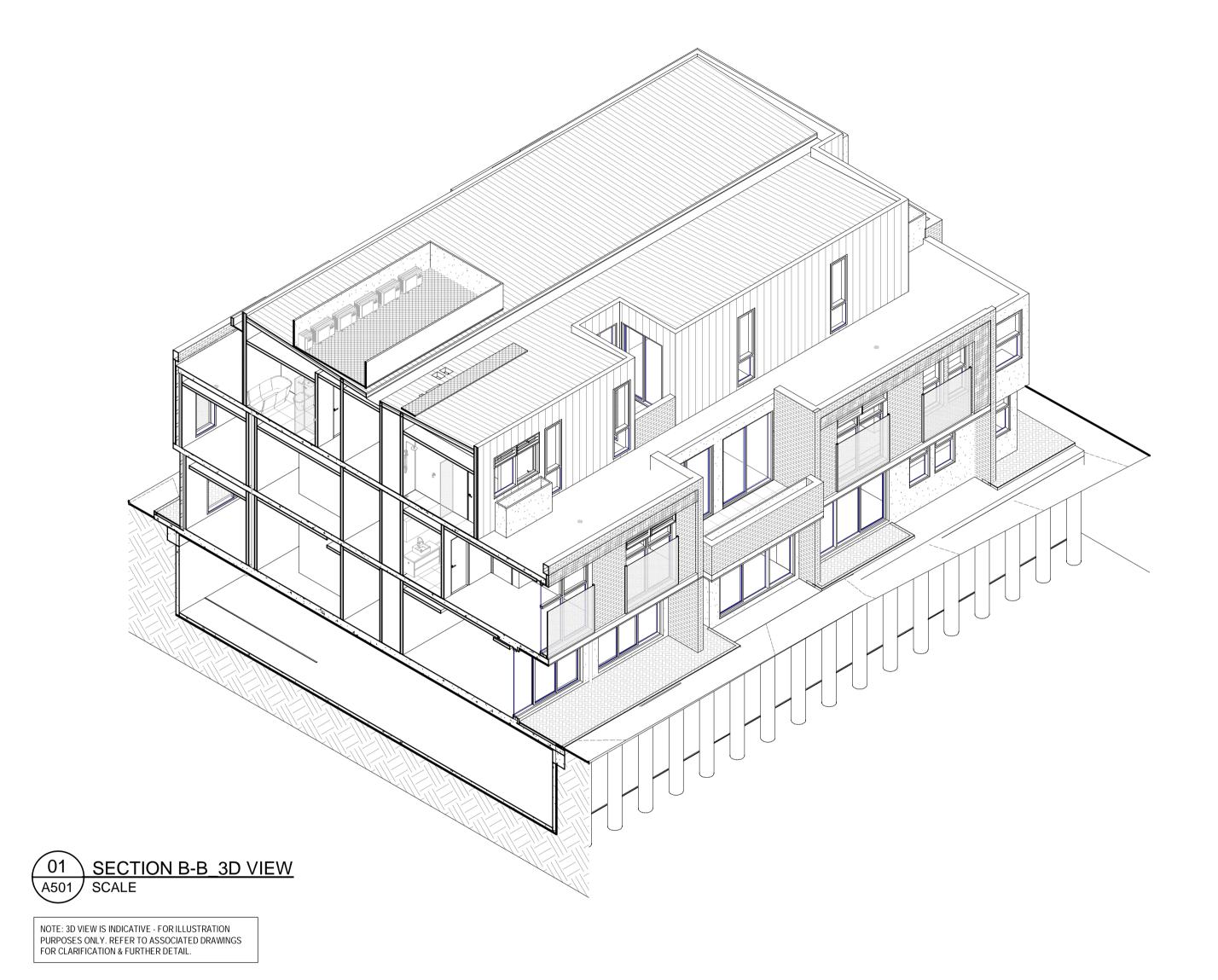
PROJECT

SECTION	A-A

DRAWN PLOT DATE SCALE AK / JP 1:100 13/11/2020 @ A1 14:44:37



B SECTION B-B A501 SCALE 1:100



REV DESCRIPTION DRN CHK DATE P1 PRELIMINARY ISSUE AK 08.09.2020 P2 PRELIMINARY ISSUE AK 17.09.2020 P3 ISSUE FOR BUILDING PERMIT AK 13.11.2020 545 King Street West Melbourne 3003 t: 93295988 f: 93294707

e : info@pointarc.com.au

**PRELIMINARY** 

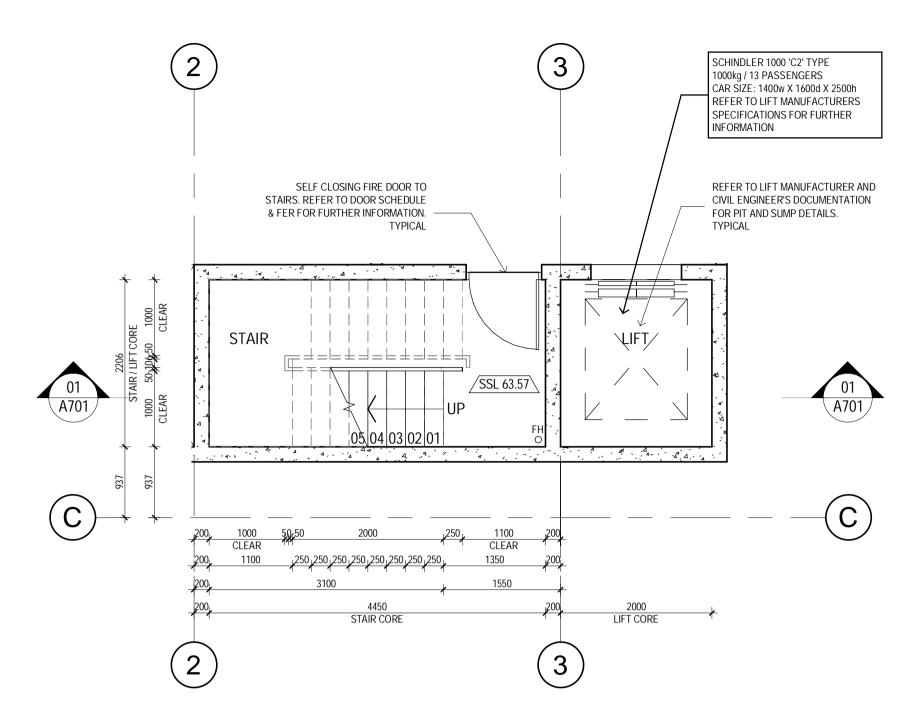
APARTMENT BUILDING 437 CAMBERWELL ROAD,

TITLE SECTION B-B DRAWN PLOT DATE SCALE JOB No. AK / JP 1:100 13/11/2020 @ A1 14:44:43

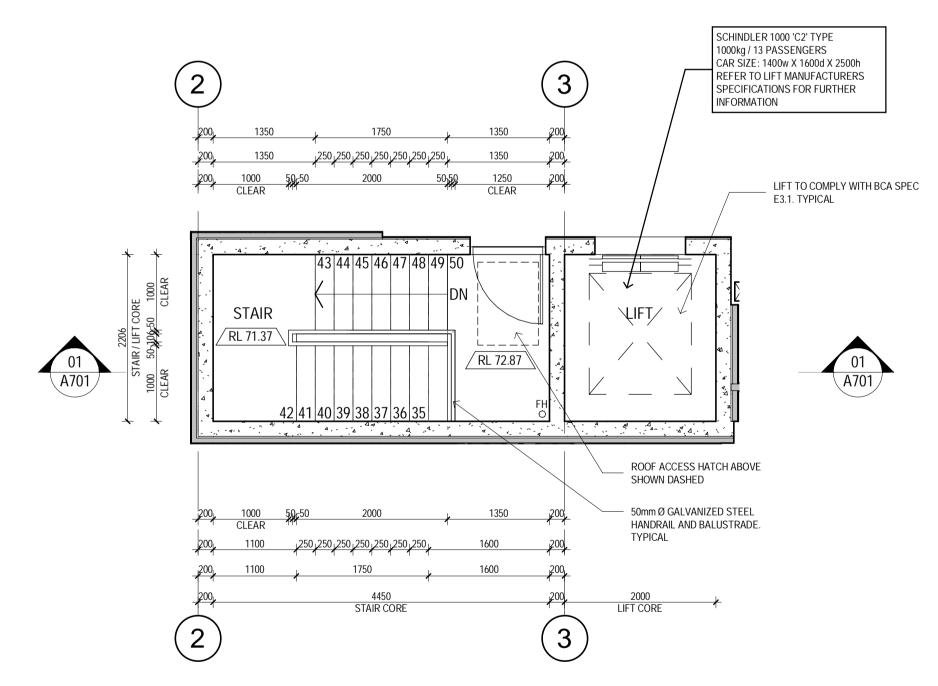
ALL DIMENSIONS MUST BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF ANY WORK OR ESTABLISHMENTS OF ANY SHOP DRAWINGS. FIGURED DIMENSIONS MUST TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL SCALED DIMENSIONS MUST BE VERIFIED ON SITE. THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT. CAMBERWELL

PROJECT

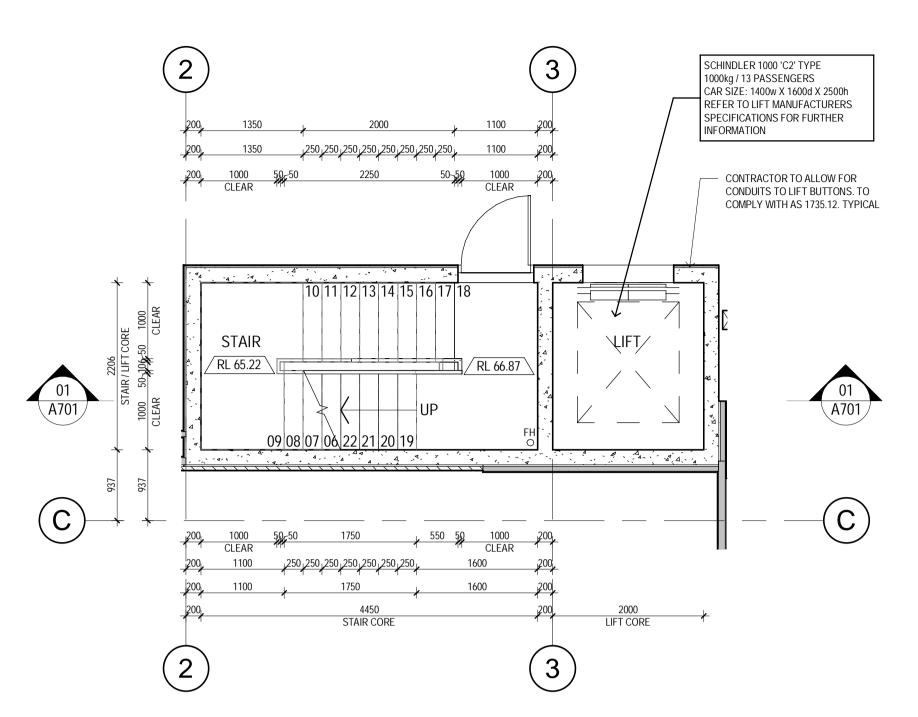
A501



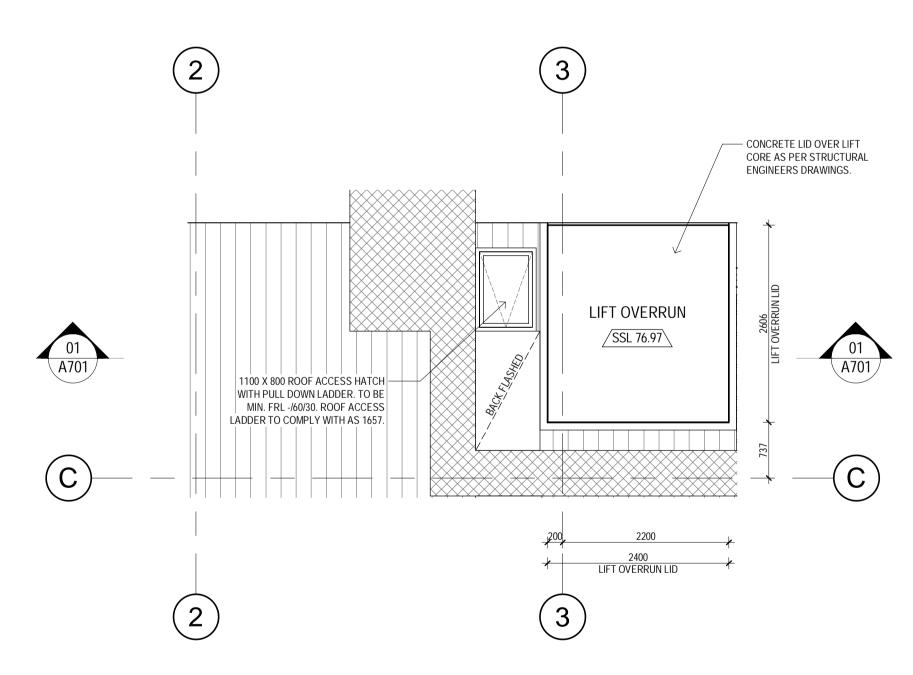




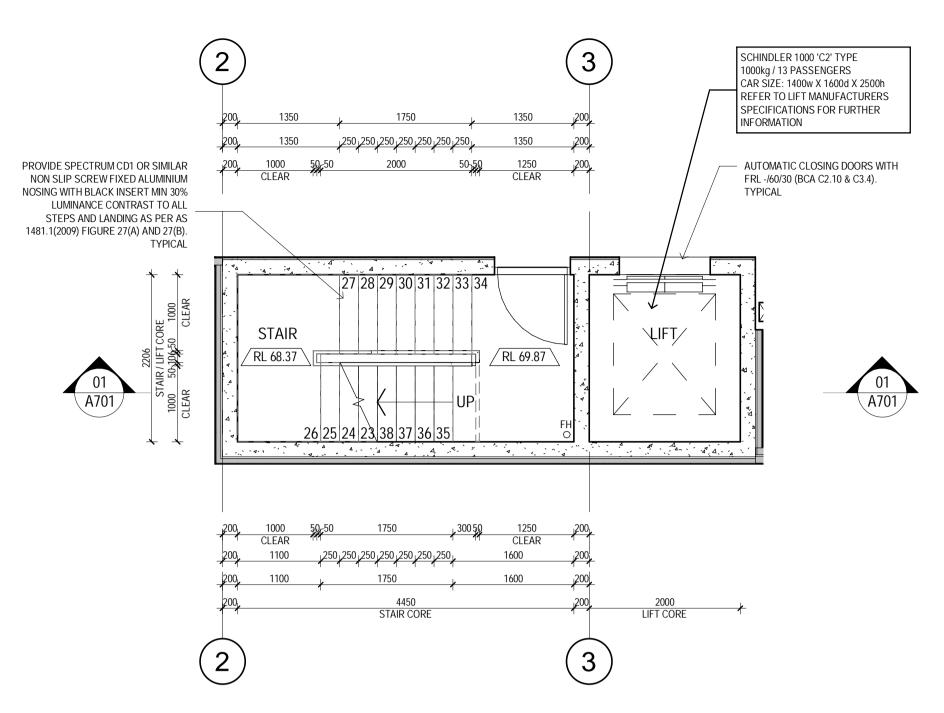
O4 STAIR & LIFT CORE PLAN DETAIL - SECOND LEVEL



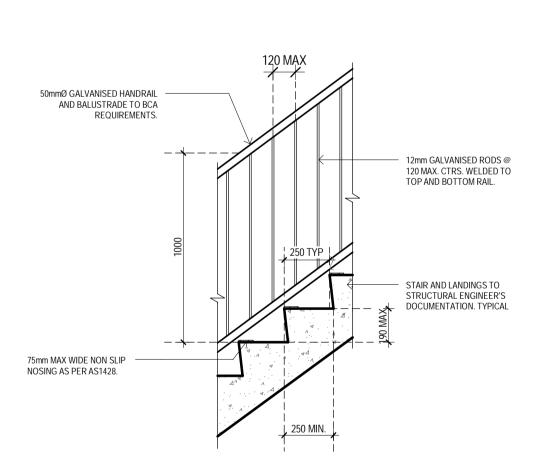
02 STAIR & LIFT CORE PLAN DETAIL - GROUND LEVEL A700 SCALE 1:50



05 STAIR & LIFT CORE PLAN DETAIL - ROOF LEVEL A700 SCALE 1:50



03 STAIR & LIFT CORE PLAN DETAIL - FIRST LEVEL
A700 SCALE 1:50

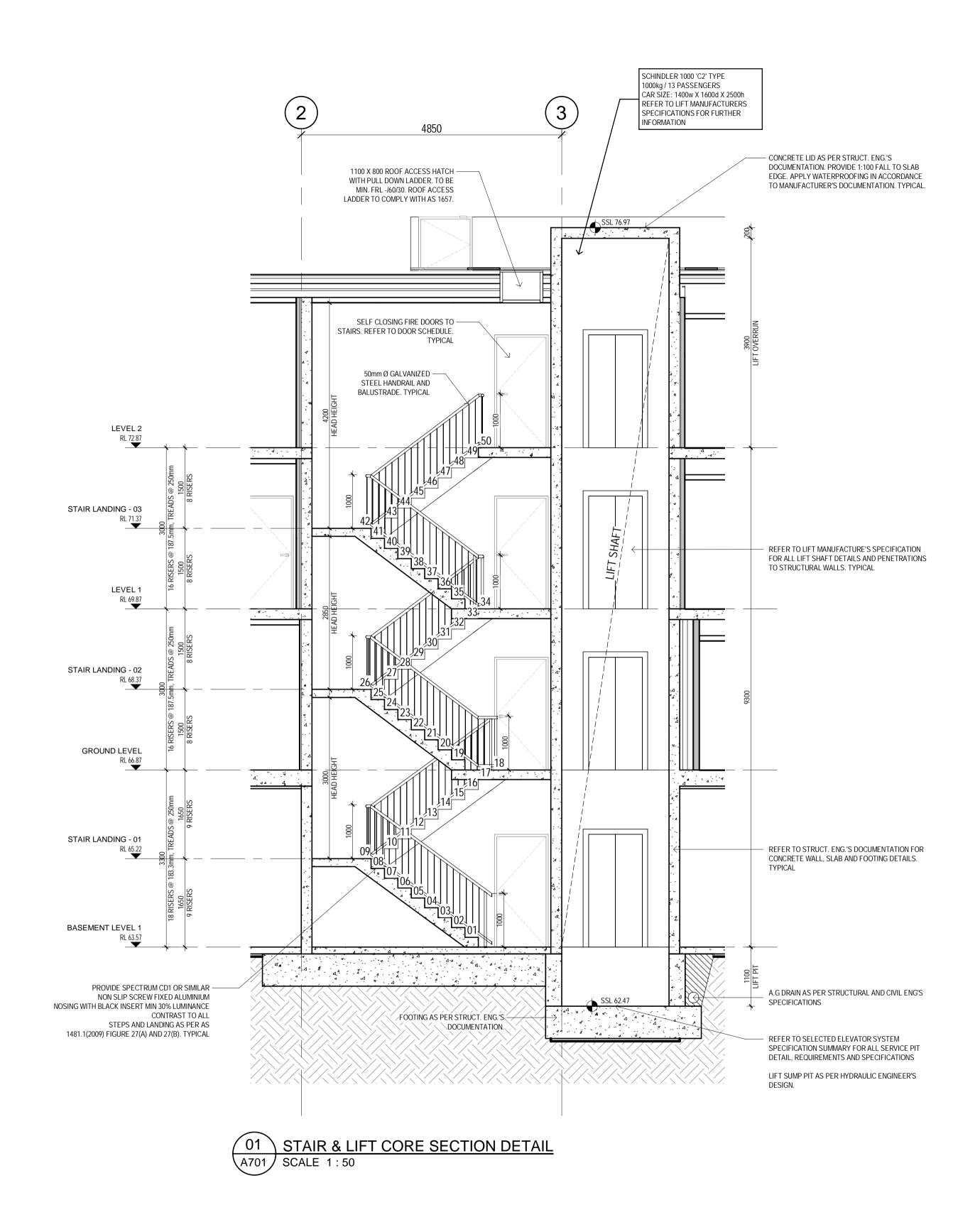


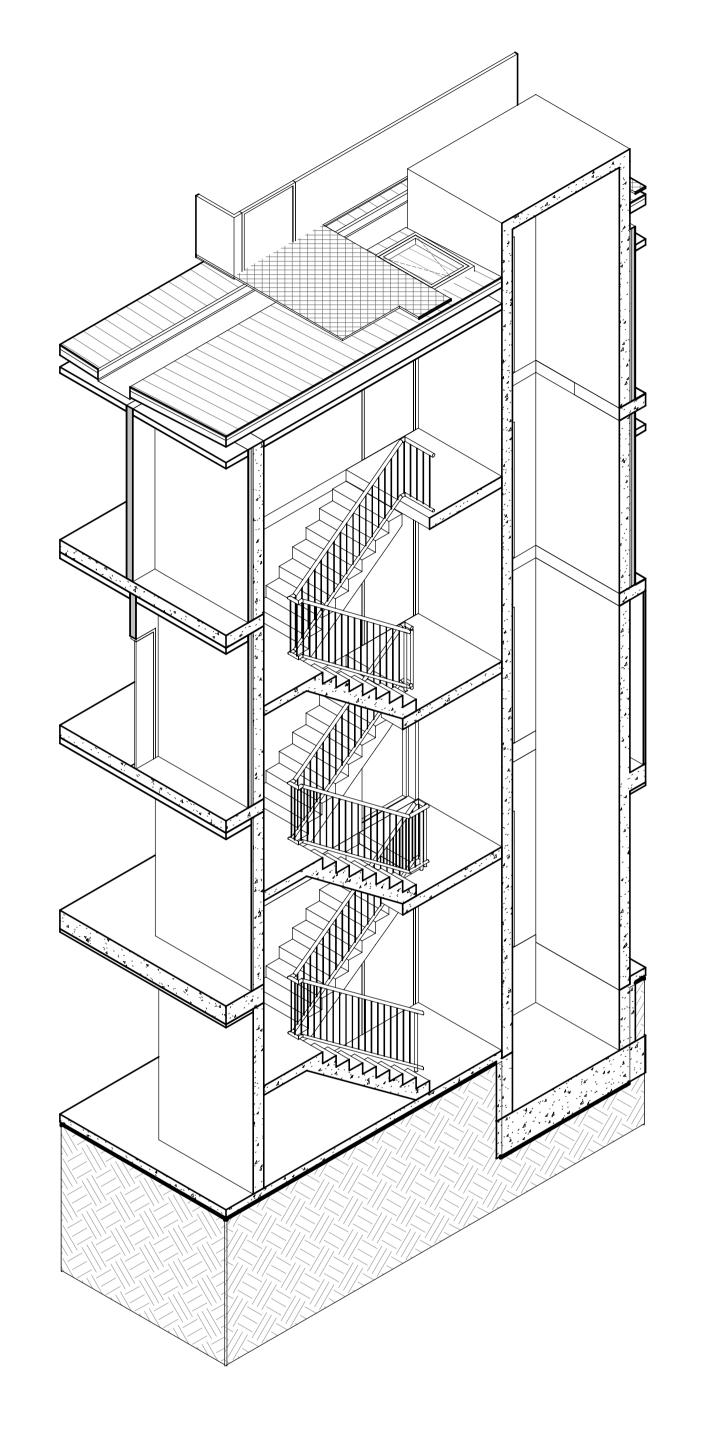
06 TYP STAIR BALUSTRADE DETAIL
A700 SCALE 1:20



PRELIMINARY	
ALL DIMENSIONS MUST BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF ANY WORK OR ESTABLISHMENTS OF ANY SHOP DRAWINGS. FIGURED DIMENSIONS MUST TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL SCALED DIMENSIONS MUST BE VERIFIED ON SITE. THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT.	

PROJECT





02 STAIR & LIFT CORE 3D SECTION DETAIL

NOTE: 3D VIEW IS INDICATIVE - FOR ILLUSTRATION PURPOSES ONLY. REFER TO ASSOCIATED DRAWINGS FOR CLARIFICATION & FURTHER DETAIL.

REV DESCRIPTION CHK DATE P1 PRELIMINARY ISSUE AK 17.09.2020 P2 ISSUE FOR BUILDING PERMIT AK / JP AK 13.11.2020



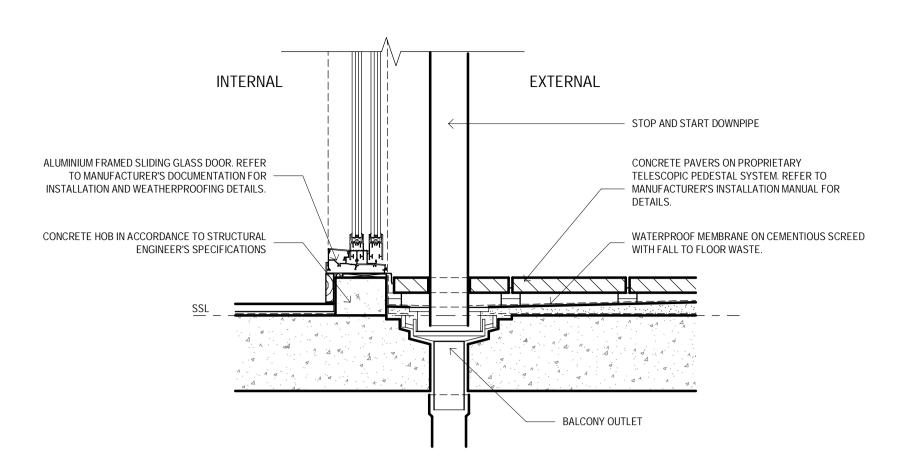
e : info@pointarc.com.au

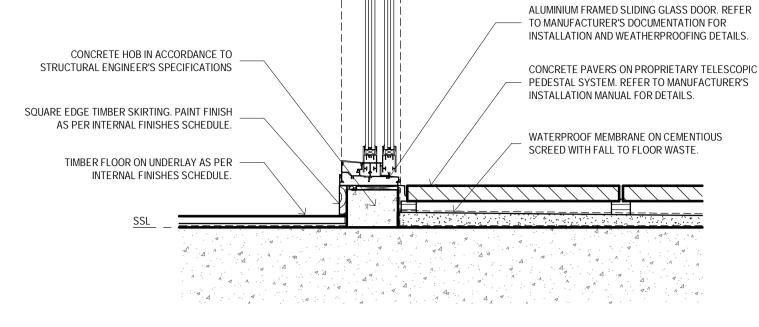
DDEI	IMINIADV
PKEL	IMINARY

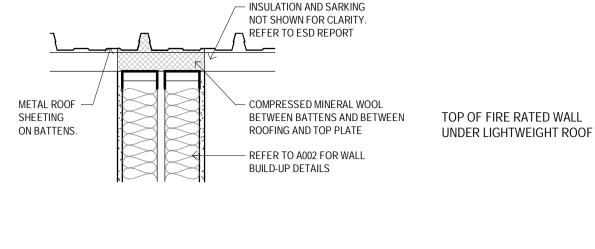
ALL DIMENSIONS MUST BE VERIFIED ON SITE PRIOR

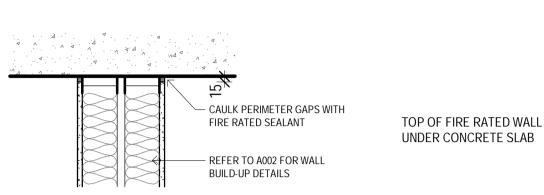
TO COMMENCEMENT OF ANY WORK OR ESTABLISHMENTS OF ANY SHOP DRAWINGS. FIGURED DIMENSIONS MUST TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL SCALED DIMENSIONS MUST BE VERIFIED ON SITE. THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT.

PROJECT







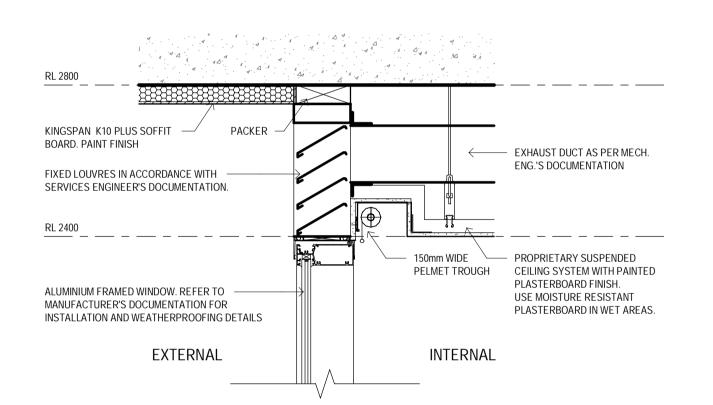


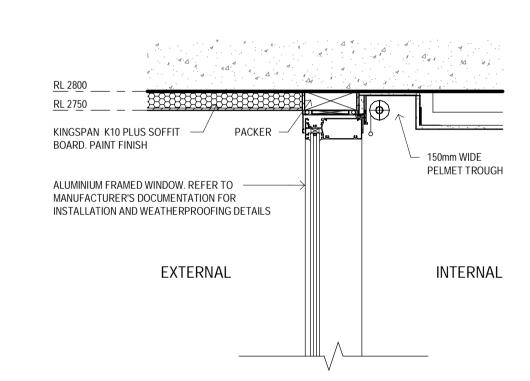


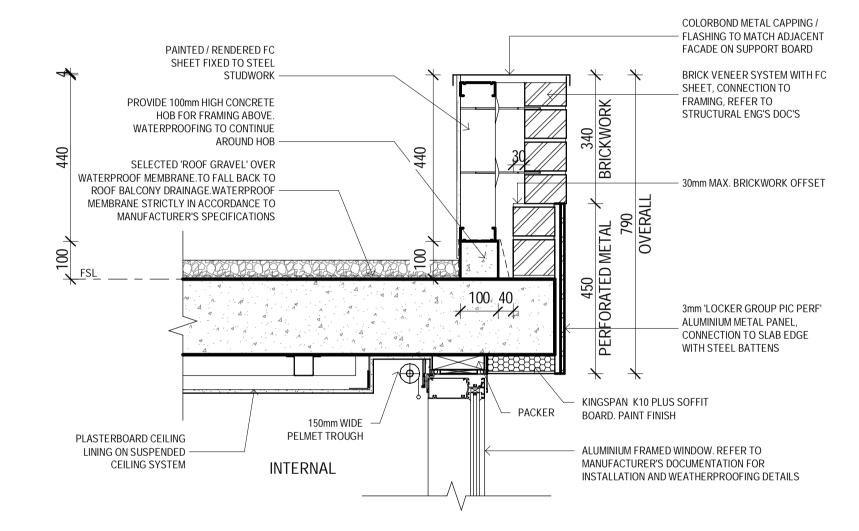


INTERNAL









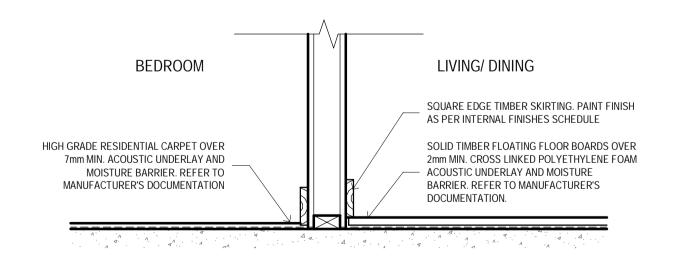
TYPICAL WINDOW HEAD DETAIL 2400 CEILING SCALE 1:10

TYPICAL WINDOW HEAD DETAIL 2700 CEILING SCALE 1:10



ARCHITRAVE

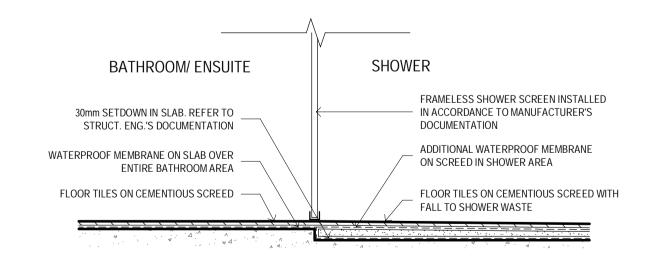
UNDERLAY

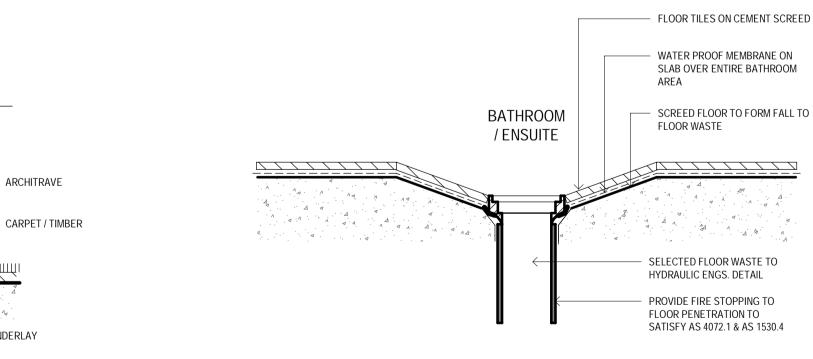


DRN

CHK DATE

AK 13.11.2020





TYPICAL FLOOR FINISHES DETAIL SCALE 1:10

REV DESCRIPTION

P1 ISSUE FOR BUILDING PERMIT

**TYPICAL SHOWER BASE DETAIL** SCALE 1:10

**TYPICAL WET AREA THRESHOLD DETAIL** \A800 SCALE 1:5

ALUMINIUM EQ. ANGLE

DOOR -

, → ADHESIVE –

FLOOR TILE

TYPICAL INTERNAL FLOOR WASTE DETAIL A800 SCALE 1:5

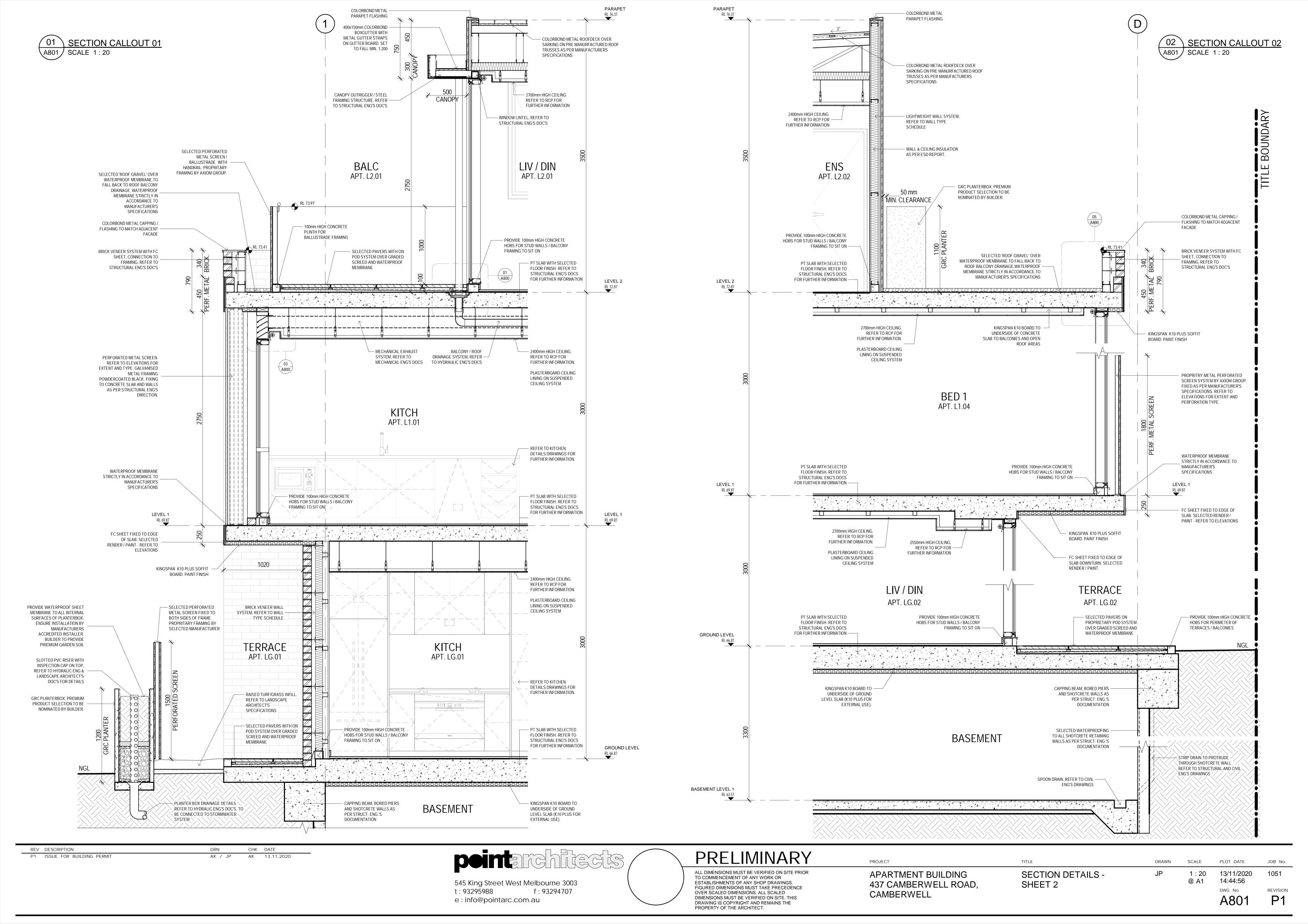
DIMENSIONS MUST BE VERIFIED ON SITE. THIS

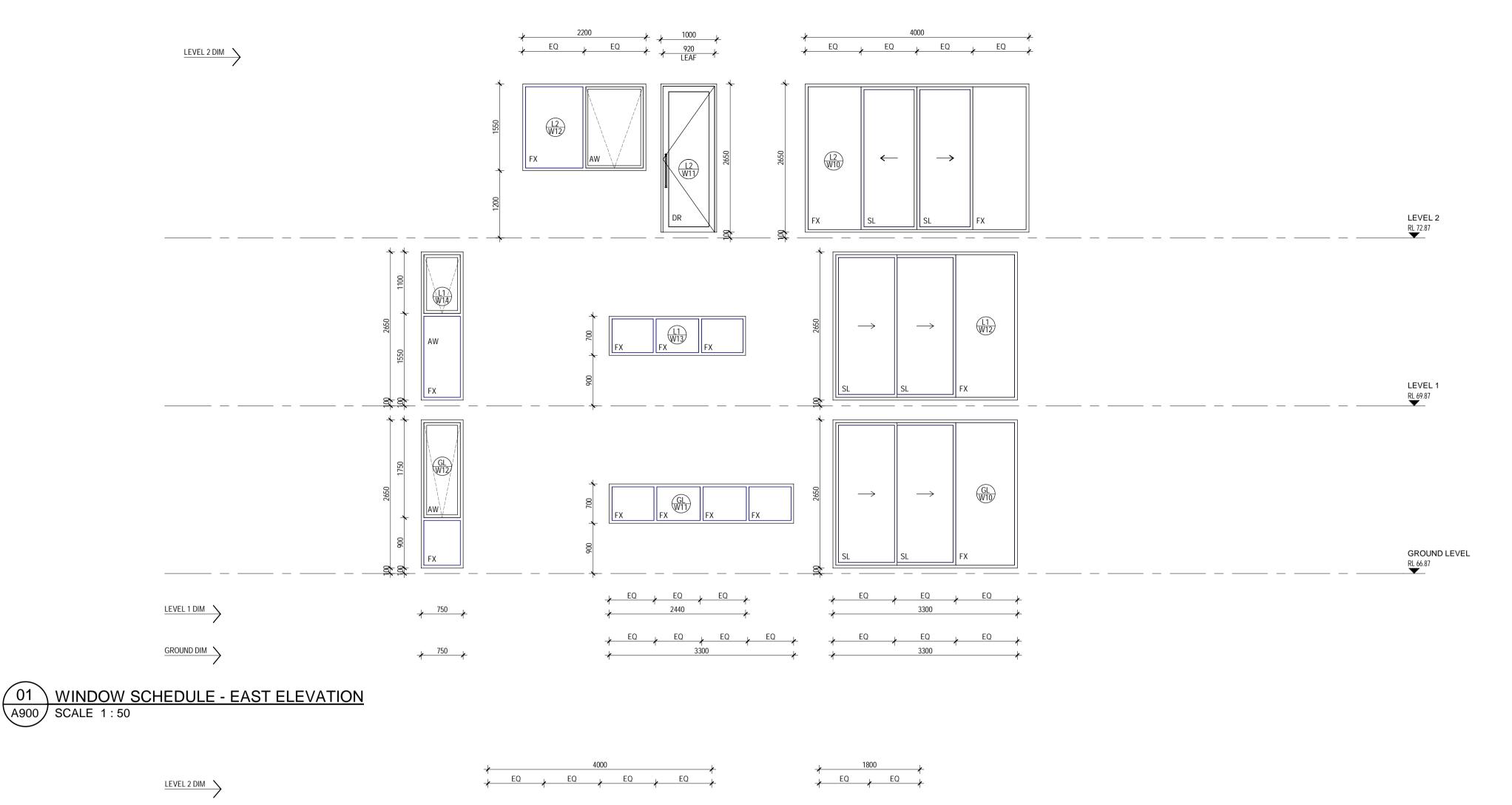
DRAWING IS COPYRIGHT AND REMAINS THE

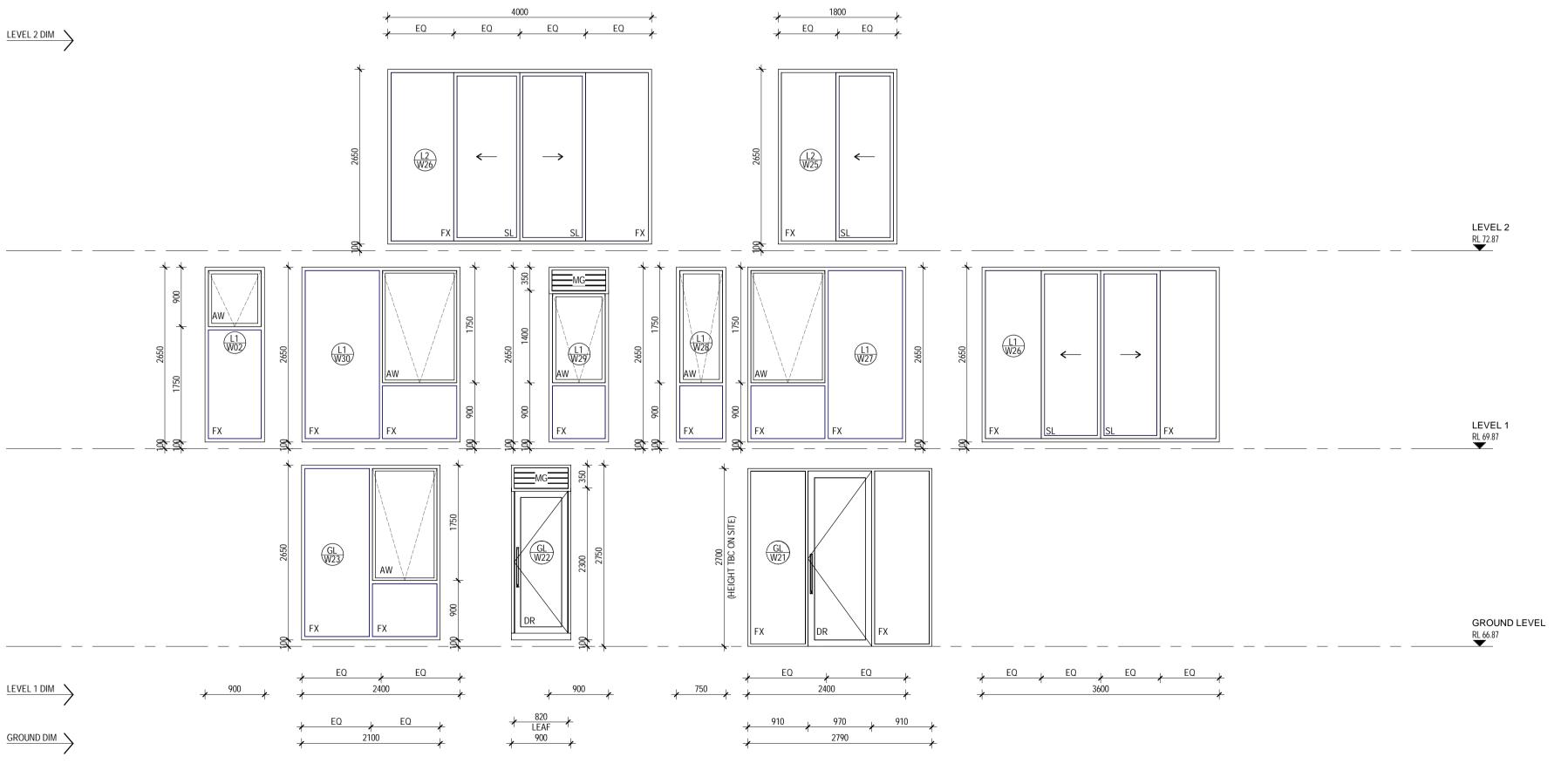
PROPERTY OF THE ARCHITECT.

PROJECT

TITLE







**PRELIMINARY** 

APARTMENT BUILDING

PROJECT

TITLE WINDOW SCHEDULE DRAWN

SCALE PLOT DATE 13/11/2020 indicated 14:46:43

ESD REQUIREMENTS

LEGEND

DR DOOR

AW AWNING WINDOW

FX FIXED GLASS

SL SLIDING DOOR / WINDOW

GL WINDOW NUMBERING

GENERAL NOTES

ANY DISCREPANCIES

DISCREPANCIES

MG WEATHERPROOF MECHANICAL EXHAUST GRILLE COLOUR TO MATCH ADJOINING WINDOW FRAME

ALL GLAZING TO COMPLY WITH AS1288-2006 & AS2047 - 1999. DRAWING TO BE READ IN CONJUNCTION WITH PROVIDED SECTION J REPORT. ARCHITECT TO BE NOTIFIED IMMEDIATELY OF

DRAWING TO BE READ IN CONJUNCTION WITH ELEVATIONS AND

FLOOR PLANS. ARCHITECT TO BE NOTIFIED IMMEDIATELY OF ANY

ALL WINDOWS TO HAVE POWDER COATED AS PER THE PROVIDED FINISHES SCHEDULE, UNLESS OTHERWISE NOTED. INSTALL AS PER MANUFACTURERS SPECIFICATION. PROVIDE FLYSCREENS TO ALL OPENABLE WINDOWS. MECHANICAL GRILLS TO BE POWDER

PROVIDE TOUGHENED SAFETY GLASS WHERE SILL WITHIN 500mm OF FLOOR. IN BATHROOMS AND ENSUITES PROVIDE SAFETY GLASS WHEN SILL WITHIN 1500mm OF BATH BASE AND WITHIN 500mm FROM BATH, SHOWER, SHOWER DOORS, SHOWER

WHERE AWNING WINDOW OPENINGS ARE BELOW 1700MM AFFL, AND HAVEN AN OPENABLE PORTION OF THE WINDOW THAT IS 2000MM OR MORE ABOVE FINISHED SURFACE LEVEL BELOW OPENABLE RESTRICTORS ARE REQUIRED AND MOST NOT ALLOW A 125MM SPHERE TO PASS THROUGH AND RESIST AN OUTWARD HORIZONTAL ACTION OF 250N.

A SEAL TO RESTRICT AIR INFILTRATION MUST BE FITTED TO EACH EDGE OF A DOOR, OPENABLE WINDOW OR THE LIKE FORMING PART OF THE THERMAL ENVELOPE (EXCEPT FOR WINDOWS COMPLYING WITH AS 2047, AND FIRE DOORS OR SMOKE DOORS,

DOOR / WINDOW MANUFACTURER TO CONFIRM ALL DIMENSIONS OF OPENINGS ON SITE PRIOR TO COMMENCE MANUFACTURING.

ALL WINDOW GLAZING AND FRAMING TO COMPLY WITH ESD CONSULTANT'S SPECIFICATIONS. REFER TO ESD CONSULTANT'S REPORT FOR FURTHER INFORMATION.

WHERE A SEAL IS REQUIRED, THIS MUST BE A DRAFT PROTECTION DEVICE FOR THE BOTTOM EDGE OF AN EXTERNAL SWING DOOR, AND A FOAM OR RUBBER COMPRESSION STRIP, FIBROUS SEAL OR THE LIKE FOR THE OTHER EDGES OF AN

AND ROLLER SHUTTER DOORS OR SECURITY DOORS). PROVIDE NOM. PACKING TO SUIT INSTALLATION.

EXTERNAL DOOR OR OPENABLE WINDOW.

COATED TO MATCH ADJOINING WINDOW FRAMES.

SCREENS AND BATH ENCLOSURE.

545 King Street West Melbourne 3003 t: 93295988 f: 93294707 e:info@pointarc.com.au

02 WINDOW SCHEDULE - WEST ELEVATION

A900 SCALE 1:50

CHK DATE

AK 17.09.2020

AK 13.11.2020

DRN

REV DESCRIPTION

P1 PRELIMINARY ISSUE

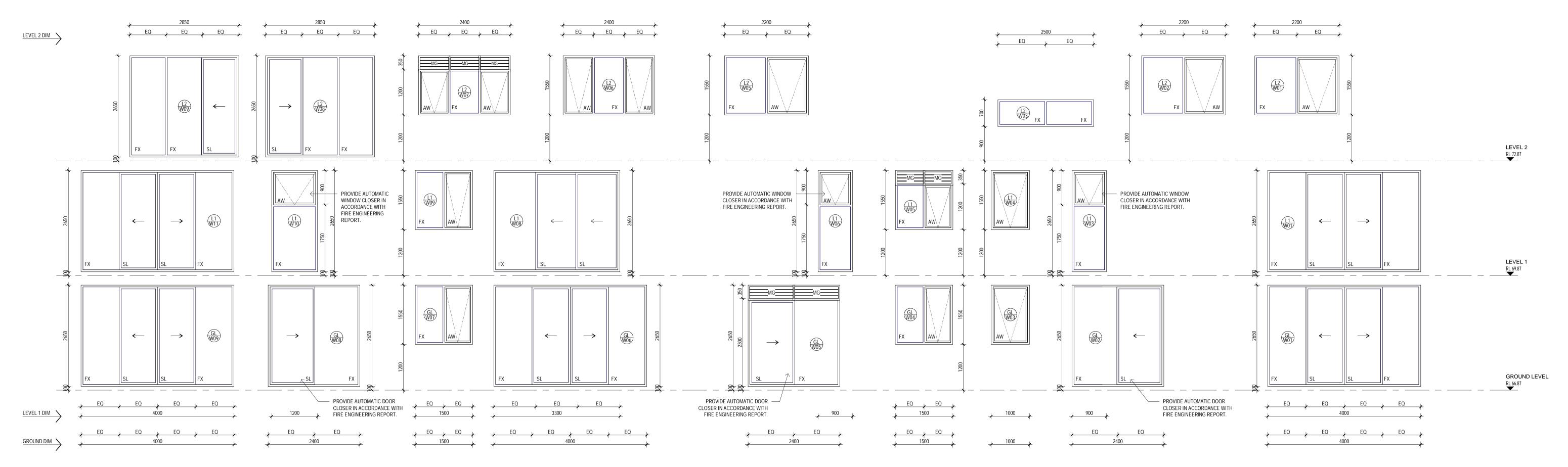
P2 ISSUE FOR BUILDING PERMIT

ALL DIMENSIONS MUST BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF ANY WORK OR ESTABLISHMENTS OF ANY SHOP DRAWINGS. FIGURED DIMENSIONS MUST TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL SCALED DIMENSIONS MUST BE VERIFIED ON SITE. THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT.

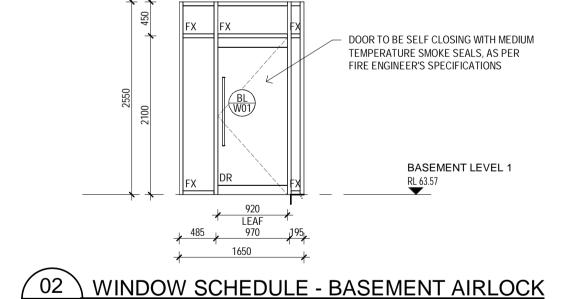
437 CAMBERWELL ROAD, CAMBERWELL

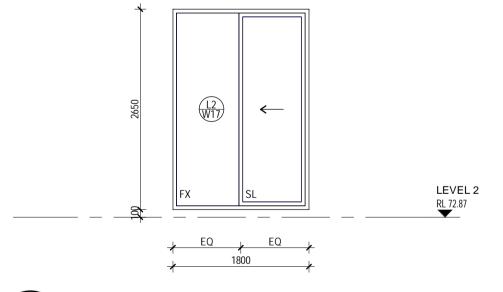
SHEET 1

DWG No A900

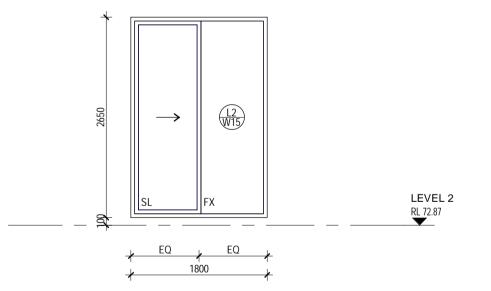


01 \ WINDOW SCHEDULE - NORTH ELEVATION

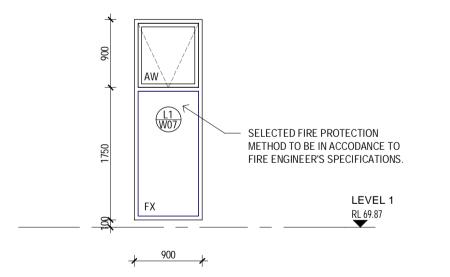




WINDOW SCHEDULE - APT 2.01 BALCONY 01



WINDOW SCHEDULE - APT 2.01 BALCONY 02 SCALE 1:50



WINDOW SCHEDULE - APT 1.03 BED 2 SCALE 1:50

## LEGEND

- AW AWNING WINDOW
- DR DOOR
- FX FIXED GLASS SL SLIDING DOOR / WINDOW
- MG WEATHERPROOF MECHANICAL EXHAUST GRILLE
- COLOUR TO MATCH ADJOINING WINDOW FRAME
- GL WINDOW NUMBERING

#### GENERAL NOTES ALL GLAZING TO COMPLY WITH AS1288-2006 & AS2047 - 1999.

DRAWING TO BE READ IN CONJUNCTION WITH PROVIDED SECTION J REPORT. ARCHITECT TO BE NOTIFIED IMMEDIATELY OF

ANY DISCREPANCIES DRAWING TO BE READ IN CONJUNCTION WITH ELEVATIONS AND

FLOOR PLANS. ARCHITECT TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES ALL WINDOWS TO HAVE POWDER COATED AS PER THE PROVIDED

FINISHES SCHEDULE, UNLESS OTHERWISE NOTED, INSTALL AS

PER MANUFACTURERS SPECIFICATION. PROVIDE FLYSCREENS TO ALL OPENABLE WINDOWS. MECHANICAL GRILLS TO BE POWDER COATED TO MATCH ADJOINING WINDOW FRAMES. PROVIDE TOUGHENED SAFETY GLASS WHERE SILL WITHIN 500mm OF FLOOR. IN BATHROOMS AND ENSUITES PROVIDE SAFETY GLASS WHEN SILL WITHIN 1500mm OF BATH BASE AND WITHIN

500mm FROM BATH, SHOWER, SHOWER DOORS, SHOWER SCREENS AND BATH ENCLOSURE. WHERE AWNING WINDOW OPENINGS ARE BELOW 1700MM AFFL, AND HAVEN AN OPENABLE PORTION OF THE WINDOW THAT IS 2000MM OR MORE ABOVE FINISHED SURFACE LEVEL BELOW

OPENABLE RESTRICTORS ARE REQUIRED AND MOST NOT ALLOW A 125MM SPHERE TO PASS THROUGH AND RESIST AN OUTWARD HORIZONTAL ACTION OF 250N.

WHERE A SEAL IS REQUIRED, THIS MUST BE A DRAFT PROTECTION DEVICE FOR THE BOTTOM EDGE OF AN EXTERNAL SWING DOOR, AND A FOAM OR RUBBER COMPRESSION STRIP, FIBROUS SEAL OR THE LIKE FOR THE OTHER EDGES OF AN EXTERNAL DOOR OR OPENABLE WINDOW.

A SEAL TO RESTRICT AIR INFILTRATION MUST BE FITTED TO EACH EDGE OF A DOOR, OPENABLE WINDOW OR THE LIKE FORMING PART OF THE THERMAL ENVELOPE (EXCEPT FOR WINDOWS COMPLYING WITH AS 2047, AND FIRE DOORS OR SMOKE DOORS,

DOOR / WINDOW MANUFACTURER TO CONFIRM ALL DIMENSIONS OF OPENINGS ON SITE PRIOR TO COMMENCE MANUFACTURING.

AND ROLLER SHUTTER DOORS OR SECURITY DOORS). PROVIDE NOM. PACKING TO SUIT INSTALLATION.

## **ESD REQUIREMENTS**

ALL WINDOW GLAZING AND FRAMING TO COMPLY WITH ESD CONSULTANT'S SPECIFICATIONS. REFER TO ESD CONSULTANT'S REPORT FOR FURTHER INFORMATION.

REV DESCRIPTION DRN CHK DATE P1 PRELIMINARY ISSUE AK 17.09.2020 P2 ISSUE FOR BUILDING PERMIT AK 13.11.2020

545 King Street West Melbourne 3003 t: 93295988 f: 93294707

e:info@pointarc.com.au

**PRELIMINARY** ALL DIMENSIONS MUST BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF ANY WORK OR

ESTABLISHMENTS OF ANY SHOP DRAWINGS. FIGURED DIMENSIONS MUST TAKE PRECEDENCE

DIMENSIONS MUST BE VERIFIED ON SITE. THIS

DRAWING IS COPYRIGHT AND REMAINS THE

OVER SCALED DIMENSIONS. ALL SCALED

PROPERTY OF THE ARCHITECT.

APARTMENT BUILDING 437 CAMBERWELL ROAD, CAMBERWELL

PROJECT

WINDOW SCHEDULE SHEET 2

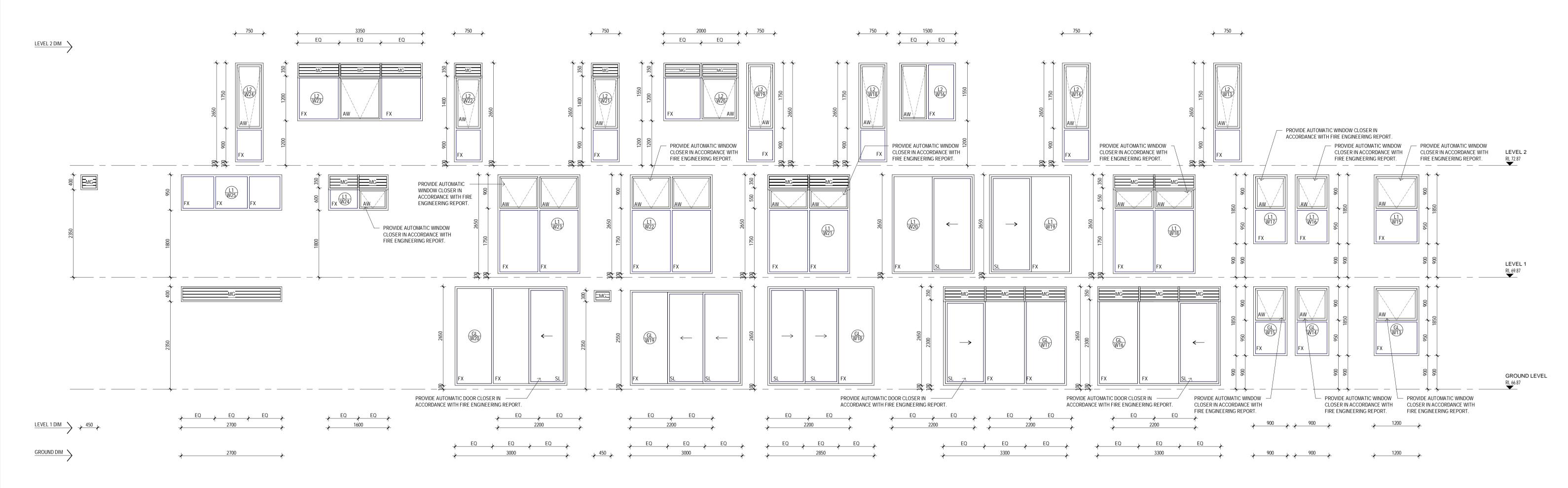
TITLE

JΡ

DRAWN SCALE PLOT DATE 13/11/2020 indicated 14:45:00 @ A1

JOB No.

DWG No



**WINDOW SCHEDULE - SOUTH ELEVATION** 

REV DESCRIPTION

P1 PRELIMINARY ISSUE

P2 ISSUE FOR BUILDING PERMIT

DOOR SCHEDULE (REFER TO SERVICE ENGINEER'S DOCUMENTATION FOR SPECIFICATIONS ON SERVICES DOORS)				
CODE	HEIGHT	WIDTH	LOCATION	DESCRIPTION
CD01	3300 (TBC ON SITE)	4280 (TBC ON SITE)	BASEMENT ENTRY	AUTOMATIC STEEL PANEL DOUBLE DOOR, DULUX TAIHAPE PAINTED VERTICAL METAL BATTENS - REFER TO ELEVATIONS FOR APPEARANCE. VENTILATION TO BE 2SQM OF OPENING.
CD02	2040	920	FIRE ISOLATED STAIR	FLUSH PANEL, TIMBER DOOR, MIN. FRL -/60/30, SOLID CORE, MEDIUM TEMPERATURE SMOKE SEALS, SELF CLOSING. STAIR DOOR AT GROUND LEVEL TO HAVE REQUIRED DIRECTIONAL SIGNAGE AS STATED IN THE 'DOOR NOTES'
CD03	2200	920	MSB ROOM	FLUSH PANEL, TIMBER DOOR, MIN. FRL -/60/30, SOLID CORE, MEDIUM TEMPERATURE SMOKE SEALS, SELF CLOSING. TO BE IN ACCORDANCE TO SERVICE ENGINEER'S SPECIFICATIONS
CD04	2040	920	PUMP ROOM	FLUSH PANEL, TIMBER DOOR, MIN. FRL -/60/30, SOLID CORE, MEDIUM TEMPERATURE SMOKE SEALS, SELF CLOSING. TO BE IN ACCORDANCE TO SERVICE ENGINEER'S SPECIFICATIONS
CD05	2040	920	STORE ROOM	FLUSH PANEL SWING TIMBER DOOR
CD06	2040	920	BASEMENT LOBBY 02	FLUSH PANEL, TIMBER DOOR, SELF CLOSING, MEDIUM TERMPERATURE SMOKE SEALS
CD07	2040	920	WASTE ROOM	FLUSH PANEL SWING TIMBER DOOR, DOUBLE LEAF. TO BE IN ACCORDANCE TO SERVICE ENGINEER'S SPECIFICATIONS.
CD08	2040	920	BASEMENT LOBBY 01	FLUSH PANEL, TIMBER DOUBLE LEAF DOOR, SELF CLOSING, MEDIUM TERMPERATURE SMOKE SEALS
CD09	2040	920	COMMS ROOM	FLUSH PANEL, TIMBER DOOR, MIN. FRL -/60/30, SOLID CORE, MEDIUM TEMPERATURE SMOKE SEALS, SELF CLOSING. TO BE IN ACCORDANCE TO SERVICE ENGINEER'S SPECIFICATIONS
CD10	2040	920	ELECTRICAL CORRIDOR RISER	FLUSH PANEL, TIMBER DOOR, MIN. FRL -/60/30, SOLID CORE, MEDIUM TEMPERATURE SMOKE SEALS, SELF CLOSING. TO BE IN ACCORDANCE TO SERVICE ENGINEER'S SPECIFICATIONS
D01	2040	920	APARTMENT ENTRY	FLUSH PANEL, TIMBER DOOR, MIN. FRL -/60/30, SOLID CORE, MEDIUM TEMPERATURE SMOKE SEALS, SELF CLOSING
D02	2040	820	APARTMENT BEDROOM / STUDY	FLUSH PANEL SWING TIMBER DOOR
D03	2040	720	APARTMENT BATHROOM / ENSUITE / L1.01 LAUNDRY	FLUSH PANEL SWING TIMBER DOOR
D04	2040	720	APARTMENT WIR	FLUSH PANEL FULL GLAZED SWING DOOR
D08	2040	720	APARTMENT ENSUITE	FLUSH PANEL CAVITY SLIDER TIMBER DOOR

#### DOOR NOTES

DOOR CONTRACTOR TO REFER TO RELEVENT BCA AND AUSTRALIAN STANDARDS FOR ALL HARDWARE HEIGHTS , SIGNAGE, FONTS ETC REQUIREMENTS. ANY DISCREPANCIES BETWEEN ARCHITECT'S DRAWINGS, ARCHITECT TO BE NOTIFIED IMMEDIATELY. REFER TO HARDWARE SPECIFICATION BY OTHERS FOR ALL HARDWARE

ALL DOORS TO BATHROOMS AND ENSUITES TO HAVE LIFT OFF HINGES AND AN ALLOWANCE OF A 20MM GAP AT TOP OF DOOR LEAF AS PER BCA REQUIREMENTS. REFER TO FLOOR PLANS FOR ALL DOOR SWING DIRECTIONS, LATCH SIDES AND HINGE SIDES.

ALL DOOR CLOSERS TO HAVE 'SLIDE ARM'. DOORS WITHIN A PATH OF TRAVEL ARE TO BE OPENABLE VIA A SINGLE HANDED DOWNWARD ACTION ON A SINGLE DEVICE LOCATED BETWEEN 900mm-1100mm ABOVE FFL WITHOUT THE USE OF KEY.

ALL FIRE DOORS ARE TO BE SELF CLOSING. WHERE A SEAL IS REQUIRED. THIS MUST BE A DRAFT PROTECTION DEVICE FOR THE BOTTOM EDGE OF AN EXTERNAL SWING DOOR, AND A FOAM OR RUBBER

COMPRESSION STRIP, FIBROUS SEAL OR THE LIKE FOR THE OTHER EDGES OF AN EXTERNAL DOOR OR OPENABLE WINDOW. A SEAL TO RESTRICT AIR INFILTRATION MUST BE FITTED TO EACH EDGE OF A DOOR, OPENABLE WINDOW OR THE LIKE FORMING PART OF THE THERMAL ENVELOPE (EXCEPT

FOR WINDOWS COMPLYING WITH AS 2047, AND FIRE DOORS OR SMOKE DOORS, AND ROLLER SHUTTER DOORS OR SECURITY DOORS). LOCKABLE DOORS ARE TO AUTOMATICALLY UNLOCK ON ACTIVATION OF THE BUILDING FIRE ALARM. THIS DOES NOT APPLY TO DOORS TO AND WITHIN APARTMENTS.

ALL BUILDING LOBBY/ ENTRY DOORS TO BE SELF CLOSING PROVIDE SIGNAGE 'FIRE SAFETY DOOR - DO NOT OBSTRUCT - DO NOT KEEP OPEN' ON EACH SIDE OF THE DOORS TO THE STAIRCASE IN MINIMUM 20mm HIGH UPPERCASE

PROVIDE PAINT FINISH TO ALL TIMBER DOORS AS PER INTERNAL FINISHES SCHEDULE, USE EXTERNAL GRADE PAINT FOR EXTERNAL TIMBER DOORS AND APPLY IN

JOINERY DOORS TO LAUNDRIES, CUPBOARDS, ROBES ETC. NOT LISTED. MEASURE ON SITE AND PROVIDE SPECIFICATION TO ARCHITECT FOR APPROVAL PRIOR TO COMMENCE MANUFACTURING. REFER TO INTERNAL ELEVATIONS.

BRAILLE AND TACTILE SIGNAGE WILL BE REQUIRED TO IDENTIFY EACH EXIT DOOR FROM THE STOREY. THE SIGN SHOULD STATE "EXIT"AND "LEVEL NO."

EXIT DOORS TO BE FITTED WITH APPROPRIATE ESCAPE TYPE LEVER HANDLE HARDWARE.

GROUND LEVEL FIRE ISOLATED STAIR DOOR TO HAVE DIRECTIONAL SIGNAGE STATING "EXIT THIS LEVEL TO OUTSIDE UNLESS EXIT SIGN IS FLASHING RED. IF EXIT IS SIGN FLASHING RED, USE ALTERNATIVE EXIT VIA BASEMENT ONE LEVEL BELOW" IN CAPITAL LETTERS MINIMUM 50 MM HIGH IN A COLOUR CONTRASTING WITH THE BACKGROUND IS TO BE LOCATED IN THE FIRE-ISOLATED STAIR ON THE GROUND FLOOR.

### OF OPENINGS ON SITE PRIOR TO COMMENCE MANUFACTURING.

**ESD REQUIREMENTS** 

PROVIDE NOM. PACKING TO SUIT INSTALLATION.

LEGEND

DR DOOR FX FIXED GLASS

AW AWNING WINDOW

SL SLIDING DOOR / WINDOW

GL WINDOW NUMBERING

GENERAL NOTES

ANY DISCREPANCIES

DISCREPANCIES

MG WEATHERPROOF MECHANICAL EXHAUST GRILLE. COLOUR TO MATCH ADJOINING WINDOW FRAME

ALL GLAZING TO COMPLY WITH AS1288-2006 & AS2047 - 1999.

DRAWING TO BE READ IN CONJUNCTION WITH PROVIDED SECTION J REPORT. ARCHITECT TO BE NOTIFIED IMMEDIATELY OF

DRAWING TO BE READ IN CONJUNCTION WITH ELEVATIONS AND

FLOOR PLANS. ARCHITECT TO BE NOTIFIED IMMEDIATELY OF ANY

ALL WINDOWS TO HAVE POWDER COATED AS PER THE PROVIDED

PROVIDE TOUGHENED SAFETY GLASS WHERE SILL WITHIN 500mm OF FLOOR. IN BATHROOMS AND ENSUITES PROVIDE SAFETY

GLASS WHEN SILL WITHIN 1500mm OF BATH BASE AND WITHIN

WHERE AWNING WINDOW OPENINGS ARE BELOW 1700MM AFFL,

AND HAVEN AN OPENABLE PORTION OF THE WINDOW THAT IS 2000MM OR MORE ABOVE FINISHED SURFACE LEVEL BELOW

WHERE A SEAL IS REQUIRED, THIS MUST BE A DRAFT PROTECTION DEVICE FOR THE BOTTOM EDGE OF AN EXTERNAL SWING DOOR, AND A FOAM OR RUBBER COMPRESSION STRIP,

EXTERNAL DOOR OR OPENABLE WINDOW.

FIBROUS SEAL OR THE LIKE FOR THE OTHER EDGES OF AN

A SEAL TO RESTRICT AIR INFILTRATION MUST BE FITTED TO EACH

EDGE OF A DOOR, OPENABLE WINDOW OR THE LIKE FORMING PART OF THE THERMAL ENVELOPE (EXCEPT FOR WINDOWS

AND ROLLER SHUTTER DOORS OR SECURITY DOORS).

COMPLYING WITH AS 2047, AND FIRE DOORS OR SMOKE DOORS,

DOOR / WINDOW MANUFACTURER TO CONFIRM ALL DIMENSIONS

OPENABLE RESTRICTORS ARE REQUIRED AND MOST NOT ALLOW A 125MM SPHERE TO PASS THROUGH AND RESIST AN OUTWARD

500mm FROM BATH, SHOWER, SHOWER DOORS, SHOWER

FINISHES SCHEDULE, UNLESS OTHERWISE NOTED, INSTALL AS PER MANUFACTURERS SPECIFICATION. PROVIDE FLYSCREENS TO

COATED TO MATCH ADJOINING WINDOW FRAMES.

SCREENS AND BATH ENCLOSURE.

HORIZONTAL ACTION OF 250N.

ALL WINDOW GLAZING AND FRAMING TO COMPLY WITH ESD CONSULTANT'S SPECIFICATIONS. REFER TO ESD CONSULTANT'S REPORT FOR FURTHER INFORMATION.

545 King Street West Melbourne 3003

e:info@pointarc.com.au

f: 93294707

PROPERTY OF THE ARCHITECT.

ALL DIMENSIONS MUST BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF ANY WORK OR ESTABLISHMENTS OF ANY SHOP DRAWINGS. FIGURED DIMENSIONS MUST TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL SCALED **CAMBERWELL** DIMENSIONS MUST BE VERIFIED ON SITE. THIS DRAWING IS COPYRIGHT AND REMAINS THE

PROJECT

APARTMENT BUILDING 437 CAMBERWELL ROAD,

SHEET 3 & DOOR **SCHEDULE** 

DRAWN

SCALE PLOT DATE 13/11/2020 indicated 14:45:04

JOB No.

t: 93295988

AK 17.09.2020

AK 13.11.2020

CHK DATE

DRN

WINDOW SCHEDULE