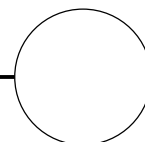


# 380 RIVERSDALE ROAD HAWTHORN EAST 3123

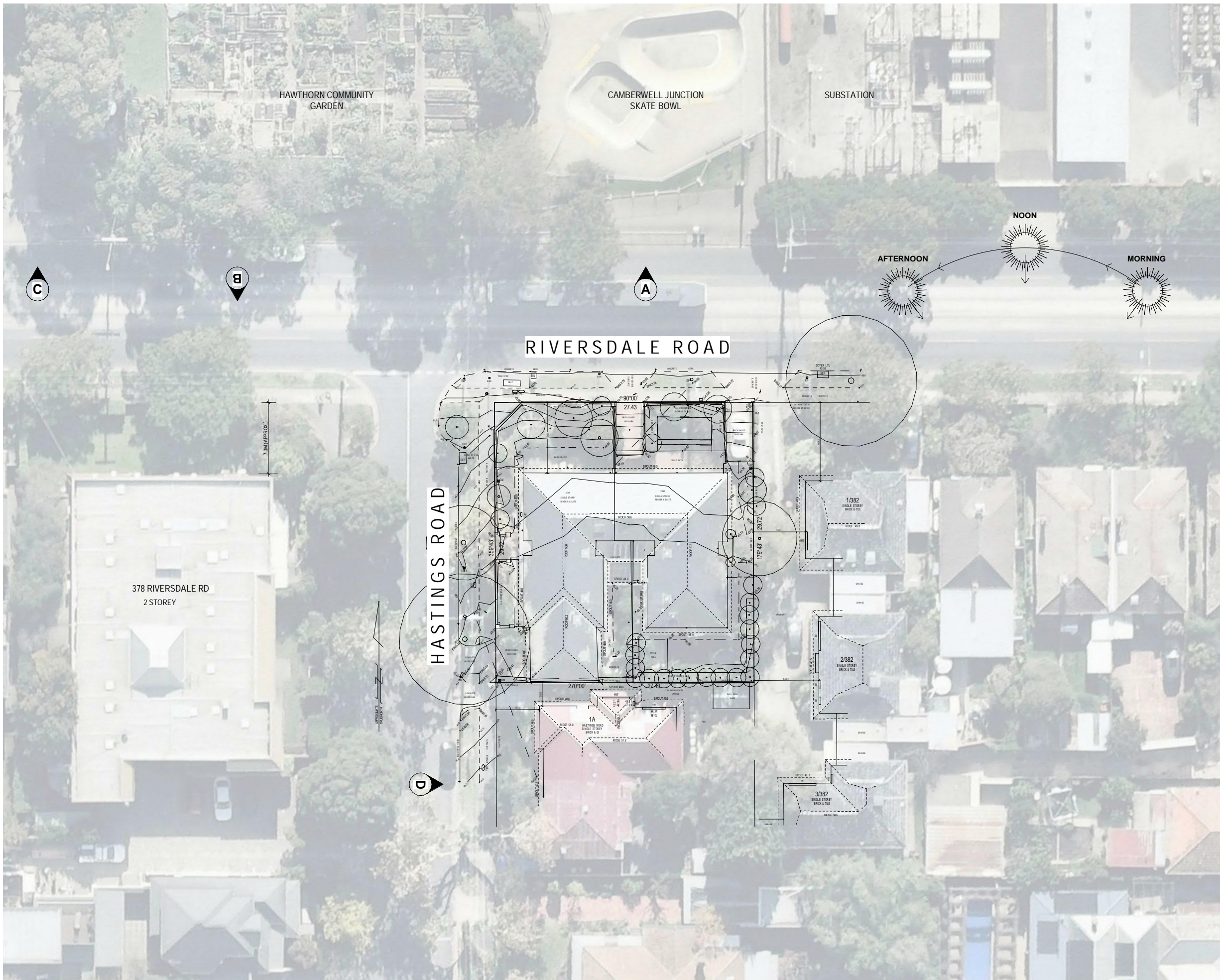
## TOWN PLANNING

SHEET NO.	SHEET NAME
CS000	COVER SHEET
SA000	NEIGHBOURHOOD SITE AND DESCRIPTION
SA001	DESIGN RESPONSE
SA002	DEVELOPMENT SUMMARY
TP100	PROPOSED BASEMENT FLOOR PLAN
TP101	PROPOSED GROUND LEVEL FLOOR PLAN
TP102	PROPOSED LEVEL 1 FLOOR PLAN
TP103	PROPOSED LEVEL 2 FLOOR PLAN
TP104	PROPOSED LEVEL 3 FLOOR PLAN
TP105	PROPOSED ROOF PLAN
TP200	PROPOSED ELEVATIONS
TP201	SECTIONS
TP202	STREETSCAPE ELEVATIONS
TP300	3D RENDER-1
TP301	3D RENDER-2
TP302	3D RENDER-3
TP303	3D RENDER-4
TP400	SHADOW DIAGRAM 9AM, 10AM, 11AM
TP401	SHADOW DIAGRAM 12PM, 1PM.
TP402	SHADOW DIAGRAM 2PM, 3PM.

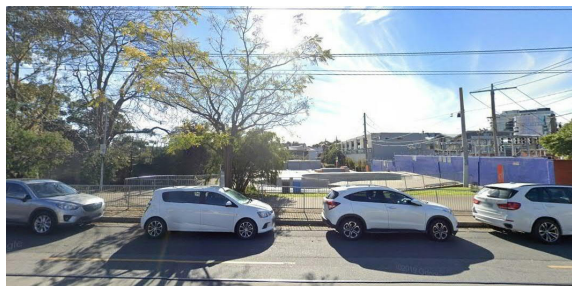
REV	DESCRIPTION	DRN	CHK	DATE
A	ISSUE FOR PRE- APP	YK	EG	03.08.2020
B	DRAFT TP SET- 1	YK	EG	21.09.2020
C	DRAFT TO SET- 2	YK	EG	25.09.2020
D	ISSUE FOR TOWN PLANNING	YK	EG	08.10.2020
E	IN RESPONSE TO COUNCIL RFI AND UD COMMENTS	YK	EG	05.02.2021



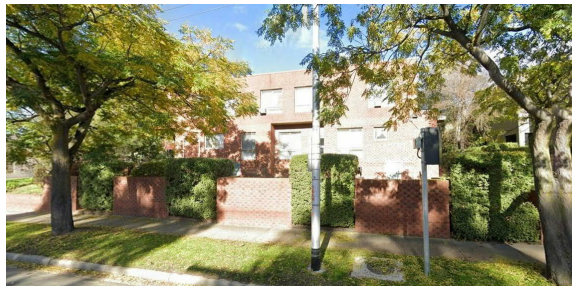




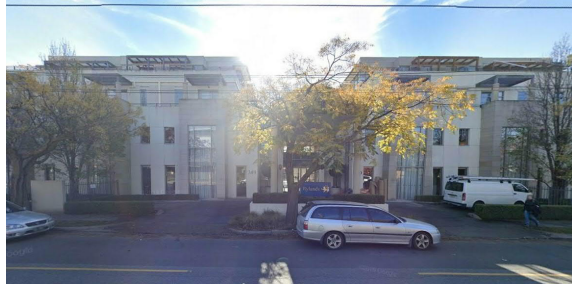
LOCATIONS IN PROXIMITY TO SITE	
07.40 km	← MELBOURNE CBD (GPO)
00.77 km	↗ CAMBERWELL TRAIN STATION
01.06 km	↖ AUBURN TRAIN STATION
00.02 km	← HASTINGS RD/RIVERSDALE RD TRAM STOP
00.43 km	→ CAMBERWELL JUNCTION TRAM STOP
01.80 km	↙ MONASH FREEWAY
00.56 km	→ CAMBERWELL PRIMARY SCHOOL
01.10 km	↓ AUBURN HIGH SCHOOL
01.40 km	↖ SWINBURNE UNIVERSITY OF TECHNOLOGY
00.20 km	↘ ST VINCENT'S CARE SERVICES
00.45 km	↗ CAMBERWELL SHOPPING CENTRE
00.37 km	↑ FRITSCH HOLZER PARK
01.20 km	↙ PATTERNSON RESERVE
01.70 km	→ RIVERSDALE PARK



A - 385 RIVERSDALE ROAD - VIEW FROM SOUTH



B - 378 RIVERSDALE ROAD - VIEW FROM NORTH

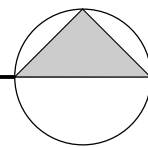


C - 349 RIVERSDALE ROAD - VIEW FROM SOUTH

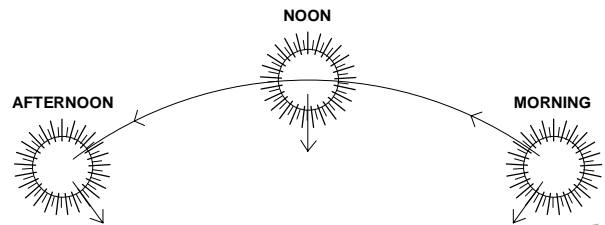


D - 1A & 1B HASTINGS ROAD - VIEW FROM WEST

REV	DESCRIPTION	DRN	CHK	DATE
A	ISSUE FOR PRE-APP	YK	EG	03.08.2020
B	DRAFT TP SET - 1	YK	EG	21.09.2020
C	DRAFT TO SET - 2	YK	EG	25.09.2020
D	ISSUE FOR TOWN PLANNING	YK	EG	08.10.2020
E	IN RESPONSE TO COUNCIL RFI AND UD COMMENTS	YK	EG	05.02.2021

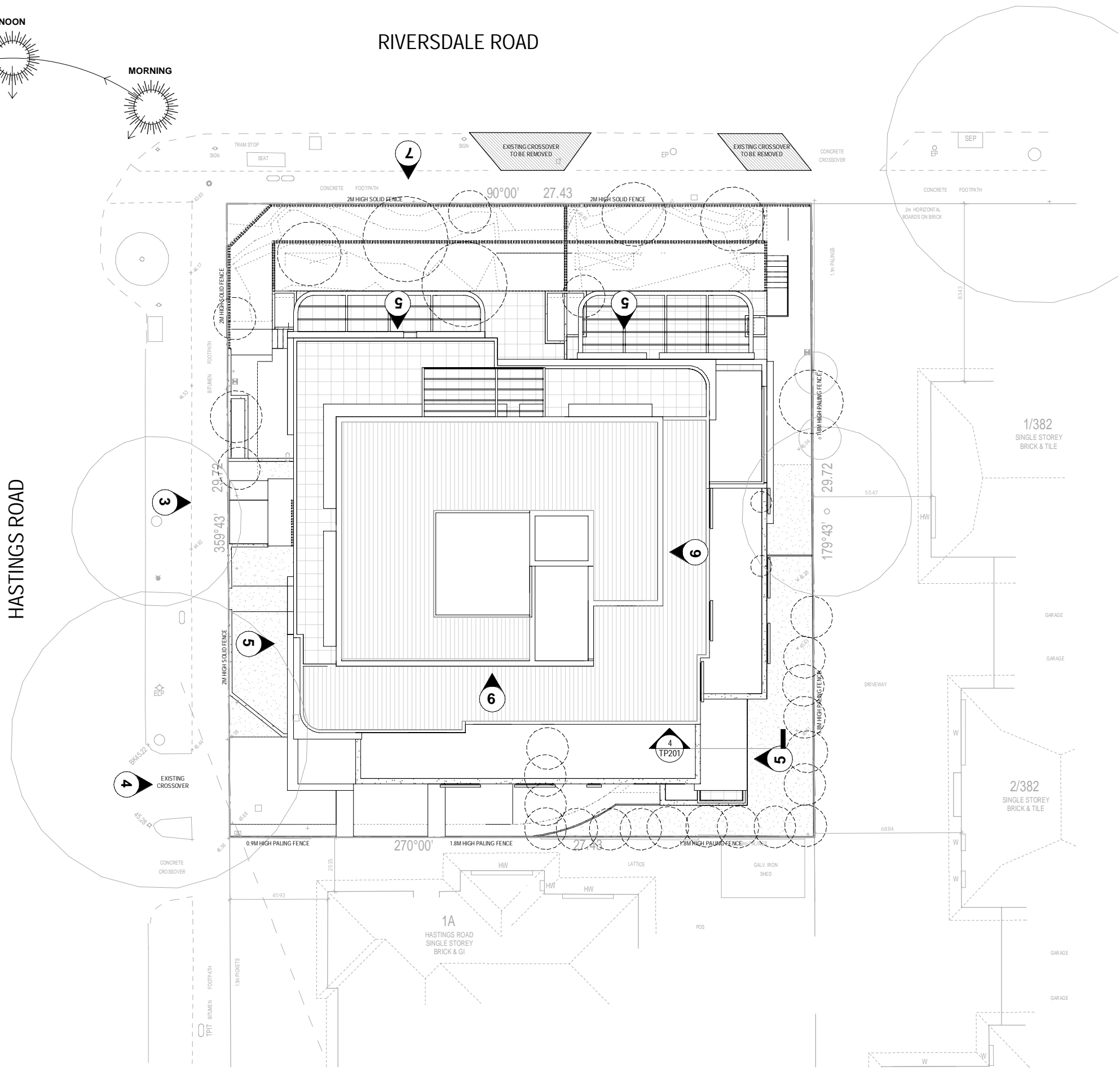






RIVERSDALE ROAD

HASTINGS ROAD

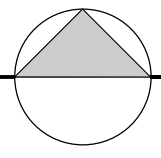


- AREA ANALYSIS:**
- SITE AREA : 815.2M<sup>2</sup>
  - SITE COVERAGE : 450.8M<sup>2</sup> (55.2%)
  - PERMEABILITY : 163.5M<sup>2</sup> (20.0%)
- DESIGN RESPONSE:**
1. DEVELOPMENT HAS A NORTH SOUTH ORIENTATION. MORE THAN 50% APARTMENTS HAVE NORTH FACING ASPECT.
  2. ALL HABITABLE ROOMS HAVE ACCESS TO NATURAL LIGHT AND VENTILATION - NO BORROWED LIGHT BEDROOMS.
  3. MAIN PEDESTRIAN ENTRY LOCATED ON HASTINGS RD TO ALLOW FOR VISUAL SURVEILLANCE AND BETTER SAFETY FOR RESIDENTS.
  4. SINGLE CROSSOVER FOR VEHICLE ENTRY TO BASEMENT ALLOWS MORE ON STREET PARKING AND LANDSCAPE OPPORTUNITIES.
  5. ALL APARTMENTS ON THE GROUND FLOOR HAVE A P.O.S. WITH LARGE AMOUNT OF AREA FOR LANDSCAPE OPPORTUNITIES.
  6. GREATER UPPER LEVEL SETBACKS TO REDUCE THE AMOUNT OF BULK AND MASS TO THE ADJOINING NEIGHBOURS.
  7. LANDSCAPING WITHIN THE FRONT SETBACK TO SOFTEN THE BUILDING AND IMPROVE AMENITY. REFER TO LANDSCAPE PLAN FOR DETAILS.
  8. PERGOLA PROPOSED ON GROUND AND LEVEL-3 TO MITIGATE OVERLOOKING CONCERN, AND HEAT IMPACTS.

01 DESIGN RESPONSE  
SA001 SCALE 1 : 100



REV	DESCRIPTION	DRN	CHK	DATE
A	ISSUE FOR PRE- APP	YK	EG	03.08.2020
B	DRAFT TP SET- 1	YK	EG	21.09.2020
C	DRAFT TO SET- 2	YK	EG	25.09.2020
D	ISSUE FOR TOWN PLANNING	YK	EG	08.10.2020
E	IN RESPONSE TO COUNCIL RFI AND UD COMMENTS	YK	EG	05.02.2021



## DEVELOPMENT SUMMARY

380 RIVERSDALE ROAD, HAWTHORN EAST, 3123  
SITE AREA: 815.2M<sup>2</sup>

JOB NUMBER: 1050

LEVEL	CARPARKING	2 BED	3 BED	BALCONY	INTERNAL FLOOR AREA*	G.F.A*
BASEMENT	15					602.6M <sup>2</sup>
GROUND		4		81.5M <sup>2</sup>	340M <sup>2</sup>	401.3M <sup>2</sup>
LEVEL 1		3	1	41.3M <sup>2</sup>	366M <sup>2</sup>	404.3M <sup>2</sup>
LEVEL 2		2	1	41.6M <sup>2</sup>	277M <sup>2</sup>	312.0M <sup>2</sup>
LEVEL 3			1	76.1M <sup>2</sup>	133.0M <sup>2</sup>	169.9M <sup>2</sup>
	15	9	3	240.5M <sup>2</sup>	1116.0M <sup>2</sup>	1890.1M <sup>2</sup>

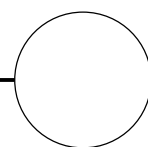
TOTAL APARTMENTS = 12

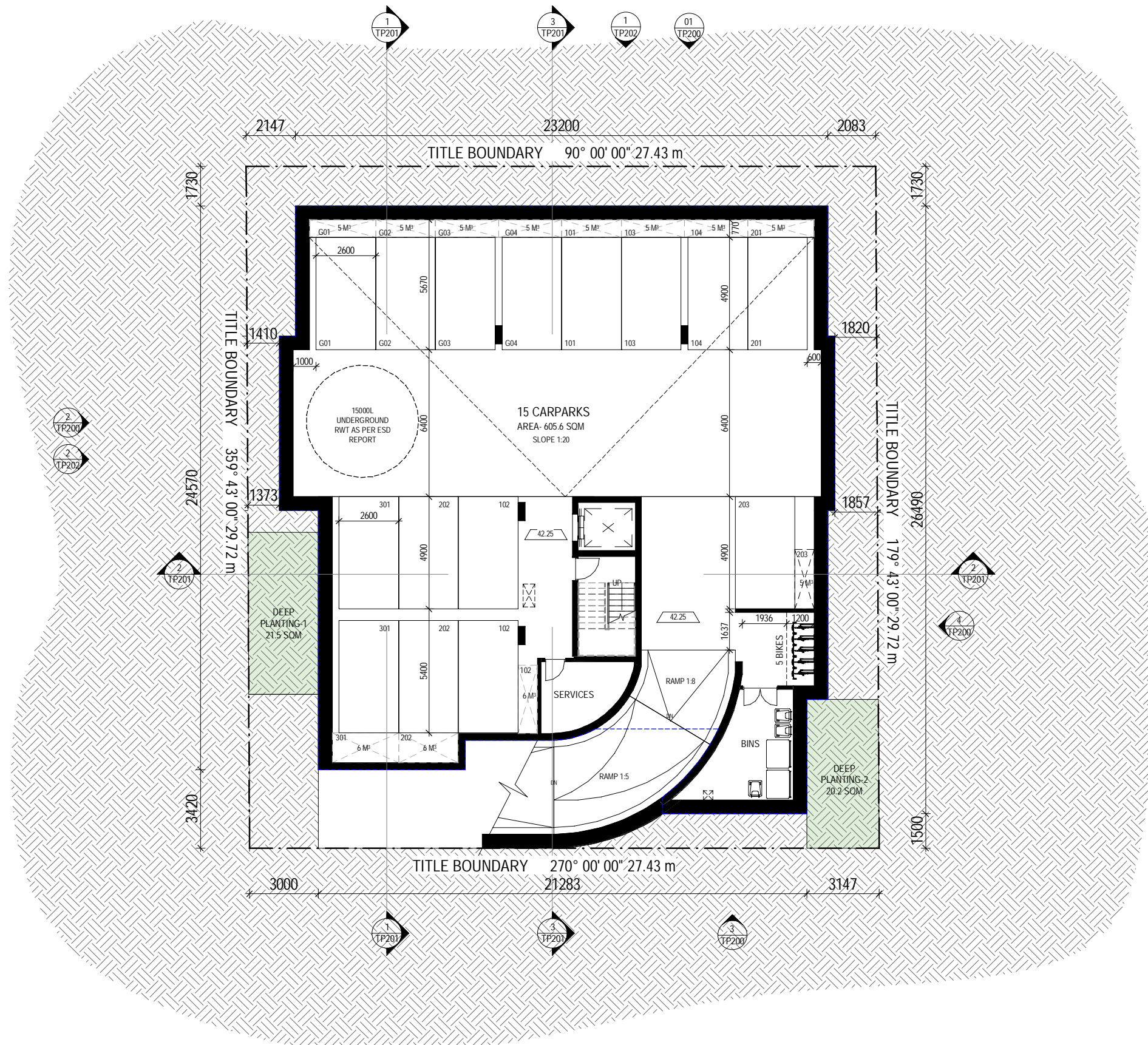
\* NSA/GFA EXCLUDES BALCONIES

## BETTER APARTMENT DESIGN STANDARDS

380 RIVERSDALE ROAD, HAWTHORN EAST, 3123

APARTMENT NO.	TYPE	MASTER BED MIN. 3.4M X 3.0M	BED 2/3 MIN. 3.0M X 3.0M	LIVING	LIVING AREA	BALCONY WIDTH	BALCONY/POS AREA	ROOM DEPTH	STORAGE			NATURAL VENTILATION	ACCESSIBLE
									INTERNAL	EXTERNAL	TOTAL		
APT G01	2 BED, 2 BATH	YES	YES	4.8M X 3.9M	18.7M <sup>2</sup>		51.3M <sup>2</sup>	6.6M	10.8M <sup>3</sup>	5M <sup>3</sup>	15.8M <sup>3</sup>	YES	NO
APT G02	2 BED, 2 BATH	YES	YES	4.6M X 3.6M	16.5M <sup>2</sup>		31.0M <sup>2</sup>	8.8M	9.4M <sup>3</sup>	5M <sup>3</sup>	14.4M <sup>3</sup>	YES	NO
APT G03	2 BED, 2 BATH	YES	YES	5.5M X 3.2M	17.6M <sup>2</sup>		44.0M <sup>2</sup>	7.8M	10.9M <sup>3</sup>	5M <sup>3</sup>	15.9M <sup>3</sup>	YES	NO
APT G04	2 BED, 2 BATH	YES	YES	3.5M X 4.2M	14.7M <sup>2</sup>		25.0M <sup>2</sup>	8.5M	9.1M <sup>3</sup>	5M <sup>3</sup>	14.1M <sup>3</sup>	YES	YES (OPTION-B)
APT 101	2 BED, 2 BATH	YES	YES	5.2M X 3.0M	18.2M <sup>2</sup>	2.4M	9.1M <sup>2</sup>	7.3M	10.8M <sup>3</sup>	5M <sup>3</sup>	15.8M <sup>3</sup>	YES	YES (OPTION-B)
APT 102	3 BED, 2 BATH	YES	YES	4.9M X 4.6M	22.5M <sup>2</sup>	2.4M	12.0M <sup>2</sup>	9.2M	13.9M <sup>3</sup>	6M <sup>3</sup>	19.9M <sup>3</sup>	YES	YES (OPTION-B)
APT 103	2 BED, 2 BATH	YES	YES	3.6M X 4.1M	14.7M <sup>2</sup>	2.2M	10.9M <sup>2</sup>	7.1M	9.1M <sup>3</sup>	5M <sup>3</sup>	14.1M <sup>3</sup>	YES	NO
APT 104	2 BED, 2 BATH	YES	YES	3.5M X 3.8M	13.3M <sup>2</sup>	2.4M	9.3M <sup>2</sup>	6.2M	13.6M <sup>3</sup>	5M <sup>3</sup>	18.6M <sup>3</sup>	YES	YES (OPTION-A)
APT 201	2 BED, 2 BATH	YES	YES	4.1M X 3.5M	15.0M <sup>2</sup>	2.4M	9.1M <sup>2</sup>	7.9M	17.8M <sup>3</sup>	5M <sup>3</sup>	22.8M <sup>3</sup>	YES	NO
APT 202	3 BED, 2 BATH	YES	YES	4.0M X 3.6M	14.4M <sup>2</sup>	2.4M	21.5M <sup>2</sup>	7.4M	12.2M <sup>3</sup>	6M <sup>3</sup>	18.2M <sup>3</sup>	YES	YES (OPTION-A)
APT 203	2 BED, 2 BATH	YES	YES	4.7M X 4.5M	21.15M <sup>2</sup>	2.4M	11.0M <sup>2</sup>	6.8M	12.1M <sup>3</sup>	5M <sup>3</sup>	17.1M <sup>3</sup>	YES	NO
APT 301	3 BED, 2 BATH	YES	YES	3.7M X 4.0M	14.8M <sup>2</sup>	2.4M	76.0M <sup>2</sup>	9.4M	21.4 M <sup>3</sup>	6M <sup>3</sup>	27.4 M <sup>3</sup>	YES	YES (OPTION-A)
												100%	6 - (50%)





- ESD INITIATIVES:**
- An average building energy rating performance of 7.0 Stars across the development will be maintained as a minimum.
  - Heating and cooling for all spaces within the development will be provided by energy efficient air conditioners (within one energy rating star of the best available, if no star rating applies, achieve an EER/COP at least 10% more efficient than minimum allowed under MEPS for an equivalent sized unit).
  - Daylight penetration through windows/openings will be enhanced with the use of light internal colours, allowing for a better internal reflection of daylight.
  - External windows will generally include an operable component: doorstops will be included to further encourage natural ventilation through the residential development.
  - All kitchens will have a separate dedicated exhaust fan (range hood) which will not be recycled to any enclosed space within the building; it will be ducted directly outside.
  - The dwellings will be fitted with double glazed windows to all living areas and bedrooms.
  - Motion sensors will be installed in communal areas with sporadic use, such as carpark, service etc. All external lighting will have appropriate controls (e.g. light sensors, timers) to minimise consumption during off-peak times (between 11pm to 5am).
  - Basement car park ventilation will be designed to best practice energy efficiency with all exhaust fans being installed with carbon monoxide (CO) sensors to make sure they only operate when necessary.
  - The development will include efficient fittings and fixtures to reduce the volume of mains water used in the development. The following minimum Water Efficiency Labelling Scheme (WELS) star ratings will be specified:
    - Toilets – 4 Star;
    - Taps – 5 Star;
    - Showerheads – 4 Star (>6.0 but ≤7.5L/min).
  - Water efficient appliances will be specified within one WELS star of the best available. This includes both dishwashers and clothes washing machines (if installed by the developer as a part of the contracted building works only).
  - A total catchment area of 406m<sup>2</sup> from the rooftop and terraces will harvest stormwater into a rainwater tank(s) with a minimum effective storage capacity of 15,000L. Collected water will be connected for irrigation and toilet flushing in all apartments.
  - Native and drought tolerant plants will be preferred for any landscaped areas designed on site. Xeriscape principles will also be followed whereby plants with similar water needs will be grouped together and planted in locations that best enable them to thrive. Where plants requiring irrigation are selected, they will be irrigated using a drip or sub-surface irrigation system.

<b>DEEP PLANTING AREA:</b>	
AREA 1	: 21.5 SOM
AREA 2	: 20.2 SOM
<b>TOTAL</b>	<b>: 41.7 SOM (5.1%)</b>

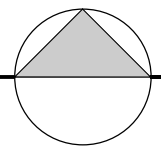
01 PROPOSED BASEMENT FLOOR PLAN  
TP100 SCALE 1 : 100



545 King Street West Melbourne 3003 t : 93295988 f : 93294707 e : info@pointarc.com.au

© THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF POINT ARCHITECTS. THIS DRAWING IS ONLY TO BE USED TO PRODUCE THE PROJECT FOR WHICH THEY WERE INTENDED, ON THE SITE, OR PART OF THE SITE TO WHICH THE DESIGN RELATES.

REV	DESCRIPTION	DRN	CHK	DATE
A	ISSUE FOR PRE-APP	YK	EG	03.08.2020
B	DRAFT TP SET- 1	YK	EG	21.09.2020
C	DRAFT TO SET- 2	YK	EG	25.09.2020
D	ISSUE FOR TOWN PLANNING	YK	EG	08.10.2020
E	IN RESPONSE TO COUNCIL RFI AND UD COMMENTS	YK	EG	05.02.2021



TOWN PLANNING

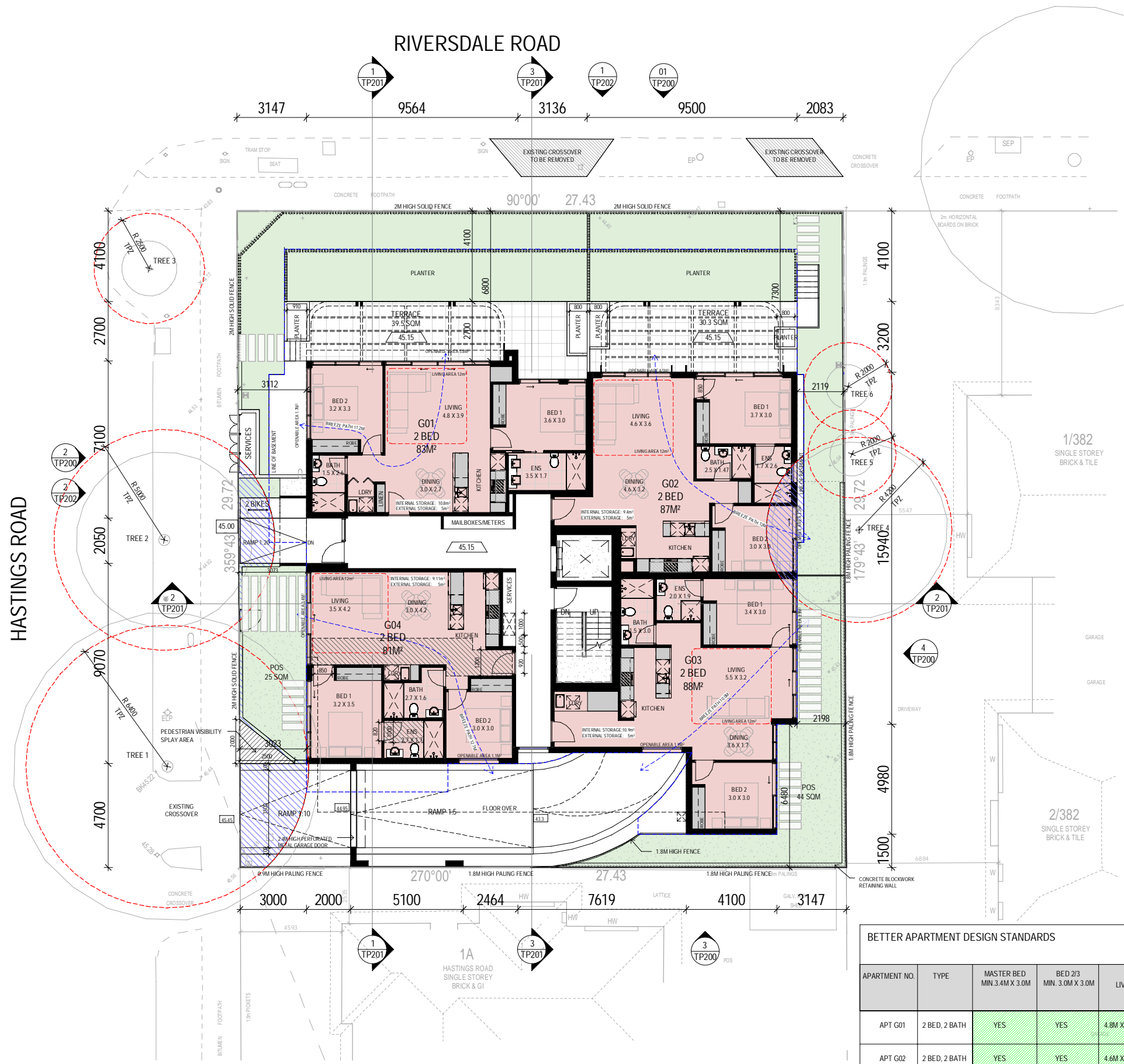
PROJECT  
380 RIVERSDALE ROAD  
HAWTHORN EAST 3123

TITLE  
PROPOSED BASEMENT  
FLOOR PLAN

DRAWN SCALE PLOT DATE JOB No.  
YK 1 : 100 10.02.2021 1050

DWG No. REVISION  
TP100 E





**LEGEND**

- TPZ ENCROACHMENT
- HW HABITABLE WINDOW
- TPZ OF TREES TO BE RETAINED

**TPZ ENCROACHMENT CALCULATION:**

TREE NO.	AREA	ENCROACHMENT	%
1	128.6 M <sup>2</sup>	12.8 M <sup>2</sup>	10.0%
2	78.5 M <sup>2</sup>	4.9 M <sup>2</sup>	6.2%
3	19.6 M <sup>2</sup>	0.0 M <sup>2</sup>	0.0%
4	55.4 M <sup>2</sup>	7.1 M <sup>2</sup>	12.8%
5	12.5 M <sup>2</sup>	0.0 M <sup>2</sup>	0.0%
6	12.5 M <sup>2</sup>	0.0 M <sup>2</sup>	0.0%

- ESD INITIATIVES:**
- An average building energy rating performance of 7.0 Stars across the development will be maintained as a minimum.
  - Heating and cooling for all spaces within the development will be provided by energy efficient air conditioners (within one energy rating star of the best available, if no star rating applies, achieve an EER/COP at least 10% more efficient than minimum allowed under MEPS for an equivalent sized unit).
  - Daylight penetration through windows/openings will be enhanced with the use of light internal colours, allowing for a better internal reflection of daylight.
  - External windows will generally include an operable component: doorstops will be included to further encourage natural ventilation through the residential development.
  - All kitchens will have a separate dedicated exhaust fan (range hood) which will not be recycled to any enclosed space within the building; it will be ducted directly outside.
  - The dwellings will be fitted with double glazed windows to all living areas and bedrooms.
  - Motion sensors will be installed in communal areas with sporadic use, such as carpark, service etc. All external lighting will have appropriate controls (e.g. light sensors, timers) to minimise consumption during off-peak times (between 1pm to 5am).
  - Basement car park ventilation will be designed to best practice energy efficiency with all exhaust fans being installed with carbon monoxide (CO) sensors to make sure they only operate when necessary.
  - The development will include efficient fittings and fixtures to reduce the volume of mains water used in the development. The following minimum Water Efficiency Labelling Scheme (WELS) star ratings will be specified:
    - Toilets - 4 Star;
    - Taps - 5 Star;
    - Showerheads - 4 Star (>6.0 but ≤7.5L/min).
  - Water efficient appliances will be specified within one WELS star of the best available. This includes both dishwashers and clothes washing machines (if installed by the developer as a part of the contracted building works only).
  - A total catchment area of 406m<sup>2</sup> from the rooftop and terraces will harvest stormwater into a rainwater tank(s) with a minimum effective storage capacity of 15,000L. Collected water will be connected for irrigation and toilet flushing in all apartments.
  - Native and drought tolerant plants will be preferred for any landscaped areas designed on site. Xeriscape principles will also be followed whereby plants with similar water needs will be grouped together and planted in locations that best enable them to thrive. Where plants requiring irrigation are selected, they will be irrigated using a drip or sub-surface irrigation system.

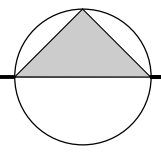
**BETTER APARTMENT DESIGN STANDARDS**

APARTMENT NO.	TYPE	MASTER BED MIN 3.4M X 3.0M	BED 2/3 MIN 3.0M X 3.0M	LIVING	LIVING AREA	BALCONY WIDTH	BALCONY/POS AREA	ROOM DEPTH	STORAGE			NATURAL VENTILATION	ACCESSIBLE
									INTERNAL	EXTERNAL	TOTAL		
APT G01	2 BED, 2 BATH	YES	YES	4.8M X 3.9M	18.7M <sup>2</sup>		51.3M <sup>2</sup>	6.6M	10.8M <sup>3</sup>	5M <sup>3</sup>	15.8M <sup>3</sup>	YES	NO
APT G02	2 BED, 2 BATH	YES	YES	4.6M X 3.6M	16.5M <sup>2</sup>		30.2M <sup>2</sup>	8.8M	9.4M <sup>3</sup>	5M <sup>3</sup>	14.4M <sup>3</sup>	YES	NO
APT G03	2 BED, 2 BATH	YES	YES	5.5M X 3.2M	17.6M <sup>2</sup>		44.0M <sup>2</sup>	7.8M	10.9M <sup>3</sup>	5M <sup>3</sup>	15.9M <sup>3</sup>	YES	NO
APT G04	2 BED, 2 BATH	YES	YES	3.5M X 4.2M	14.7M <sup>2</sup>		25.0M <sup>2</sup>	8.5M	9.1M <sup>3</sup>	5M <sup>3</sup>	14.1M <sup>3</sup>	YES	YES (B)

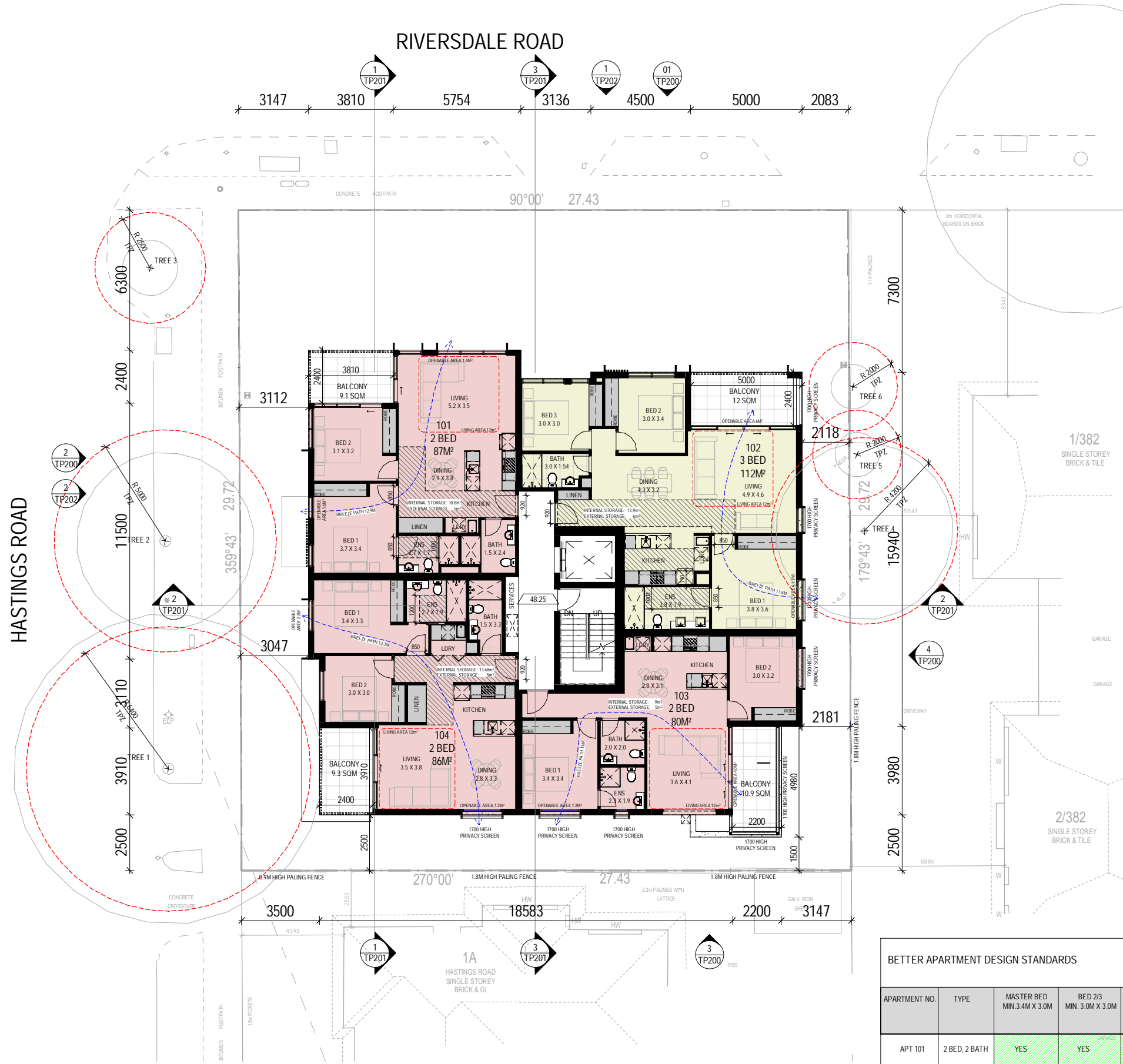
**01 PROPOSED GROUND FLOOR PLAN**  
TP101 SCALE 1 : 100

NOTE: ALL HEATING AND COOLING UNITS TO BE LOCATED ON THE ROOF.

REV	DESCRIPTION	DRN	CHK	DATE
A	ISSUE FOR PRE- APP	YK	EG	03.08.2020
B	DRAFT TP SET- 1	YK	EG	21.09.2020
C	DRAFT TO SET- 2	YK	EG	25.09.2020
D	ISSUE FOR TOWN PLANNING	YK	EG	08.10.2020
E	IN RESPONSE TO COUNCIL RFI AND UD COMMENTS	YK	EG	05.02.2021



RIVERSDALE ROAD



01 PROPOSED LEVEL 1 FLOOR PLAN  
TP102 SCALE 1 : 100

NOTE: ALL HEATING AND COOLING UNITS TO BE LOCATED ON THE ROOF.

- ESD INITIATIVES:**
- An average building energy rating performance of 7.0 Stars across the development will be maintained as a minimum.
  - Heating and cooling for all spaces within the development will be provided by energy efficient air conditioners (within one energy rating star of the best available, if no star rating applies, achieve an EER/COP at least 10% more efficient than minimum allowed under MEPS for an equivalent sized unit).
  - Daylight penetration through windows/openings will be enhanced with the use of light internal colours, allowing for a better internal reflection of daylight.
  - External windows will generally include an operable component; doorstops will be included to further encourage natural ventilation through the residential development.
  - All kitchens will have a separate dedicated exhaust fan (range hood) which will not be recycled to any enclosed space within the building; it will be ducted directly outside.
  - The dwellings will be fitted with double glazed windows to all living areas and bedrooms.
  - Motion sensors will be installed in communal areas with sporadic use, such as carpark, service etc. All external lighting will have appropriate controls (e.g. light sensors, timers) to minimise consumption during off-peak times (between 11pm to 5am).
  - Basement car park ventilation will be designed to best practice energy efficiency with all exhaust fans being installed with carbon monoxide (CO) sensors to make sure they only operate when necessary.
  - The development will include efficient fittings and fixtures to reduce the volume of mains water used in the development. The following minimum Water Efficiency Labelling Scheme (WELS) star ratings will be specified:
    - Toilets – 4 Star;
    - Taps – 5 Star;
    - Showerheads – 4 Star (>6.0 but ≤7.5L/min).
  - Water efficient appliances will be specified within one WELS star of the best available. This includes both dishwashers and clothes washing machines (if installed by the developer as a part of the contracted building works only).
  - A total catchment area of 406m<sup>2</sup> from the rooftop and terraces will harvest stormwater into a rainwater tank(s) with a minimum effective storage capacity of 15,000L. Collected water will be connected for irrigation and toilet flushing in all apartments.
  - Native and drought tolerant plants will be preferred for any landscaped areas designed on site. Xeriscape principles will also be followed whereby plants with similar water needs will be grouped together and planted in locations that best enable them to thrive. Where plants requiring irrigation are selected, they will be irrigated using a drip or sub-surface irrigation system.

**BETTER APARTMENT DESIGN STANDARDS**

APARTMENT NO.	TYPE	MASTER BED MIN. 3.4M X 3.0M	BED 2/3 MIN. 3.0M X 3.0M	LIVING	LIVING AREA	BALCONY WIDTH	BALCONY/POS AREA	ROOM DEPTH	STORAGE			NATURAL VENTILATION	ACCESSIBLE
									INTERNAL	EXTERNAL	TOTAL		
APT 101	2 BED, 2 BATH	YES	YES	5.2M X 3.5M	18.2M <sup>2</sup>	2.4M	9.1M <sup>2</sup>	7.3M	10.8M <sup>3</sup>	5M <sup>3</sup>	15.8M <sup>3</sup>	YES	YES (B)
APT 102	3 BED, 2 BATH	YES	YES	4.9M X 4.6M	22.5M <sup>2</sup>	2.4M	12.0M <sup>2</sup>	9.2M	13.9M <sup>3</sup>	6M <sup>3</sup>	19.9M <sup>3</sup>	YES	YES (B)
APT 103	2 BED, 2 BATH	YES	YES	3.6M X 4.1M	14.7M <sup>2</sup>	2.2M	10.9M <sup>2</sup>	7.1M	9.1M <sup>3</sup>	5M <sup>3</sup>	14.1M <sup>3</sup>	YES	NO
APT 104	2 BED, 2 BATH	YES	YES	3.5M X 3.8M	13.3M <sup>2</sup>	2.4M	9.3M <sup>2</sup>	6.2M	13.6M <sup>3</sup>	5M <sup>3</sup>	18.6M <sup>3</sup>	YES	YES (A)

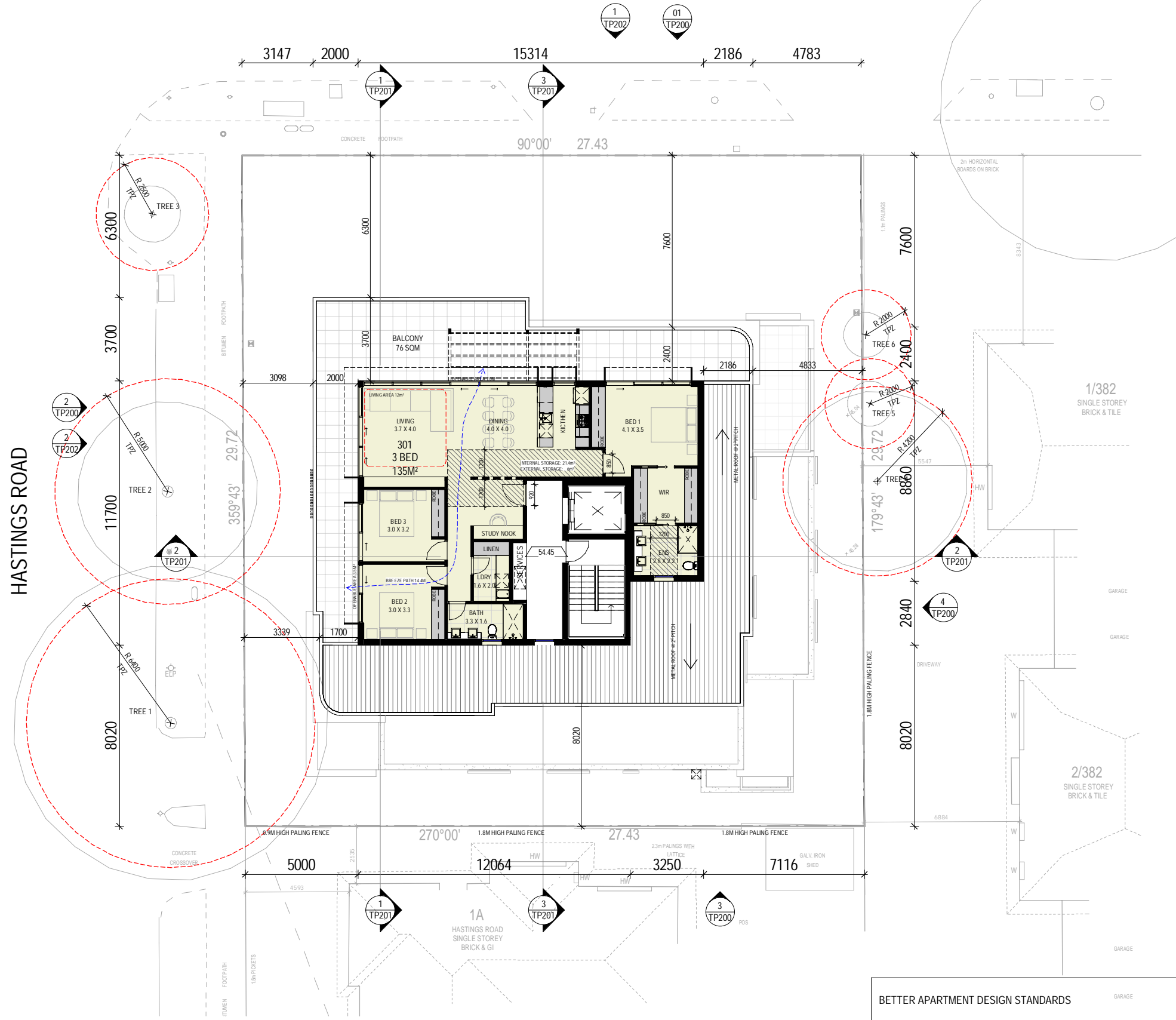
REV	DESCRIPTION	DRN	CHK	DATE
A	ISSUE FOR PRE- APP	YK	EG	03.08.2020
B	DRAFT TP SET - 1	YK	EG	21.09.2020
C	DRAFT TO SET - 2	YK	EG	25.09.2020
D	ISSUE FOR TOWN PLANNING	YK	EG	08.10.2020
E	IN RESPONSE TO COUNCIL RFI AND UD COMMENTS	YK	EG	05.02.2021





RIVERSDALE ROAD

HASTINGS ROAD



- ESD INITIATIVES:**
- An average building energy rating performance of 7.0 Stars across the development will be maintained as a minimum.
  - Heating and cooling for all spaces within the development will be provided by energy efficient air conditioners (within one energy rating star of the best available, if no star rating applies, achieve an EER/COP at least 10% more efficient than minimum allowed under MEPS for an equivalent sized unit).
  - Daylight penetration through windows/openings will be enhanced with the use of light internal colours, allowing for a better internal reflection of daylight.
  - External windows will generally include an operable component; doorstops will be included to further encourage natural ventilation through the residential development.
  - All kitchens will have a separate dedicated exhaust fan (range hood) which will not be recycled to any enclosed space within the building; it will be ducted directly outside.
  - The dwellings will be fitted with double glazed windows to all living areas and bedrooms.
  - Motion sensors will be installed in communal areas with sporadic use, such as carpark, service etc. All external lighting will have appropriate controls (e.g. light sensors, timers) to minimise consumption during off-peak times (between 11pm to 5am).
  - Basement car park ventilation will be designed to best practice energy efficiency with all exhaust fans being installed with carbon monoxide (CO) sensors to make sure they only operate when necessary.
  - The development will include efficient fittings and fixtures to reduce the volume of mains water used in the development. The following minimum Water Efficiency Labelling Scheme (WELS) star ratings will be specified:
    - Toilets - 4 Star;
    - Taps - 5 Star;
    - Showerheads - 4 Star (>6.0 but ≤7.5L/min).
  - Water efficient appliances will be specified within one WELS star of the best available. This includes both dishwashers and clothes washing machines (if installed by the developer as a part of the contracted building works only).
  - A total catchment area of 406m<sup>2</sup> from the rooftop and terraces will harvest stormwater into a rainwater tank(s) with a minimum effective storage capacity of 15,000L. Collected water will be connected for irrigation and toilet flushing in all apartments.
  - Native and drought tolerant plants will be preferred for any landscaped areas designed on site. Xeriscape principles will also be followed whereby plants with similar water needs will be grouped together and planted in locations that best enable them to thrive. Where plants requiring irrigation are selected, they will be irrigated using a drip or sub-surface irrigation system.

**BETTER APARTMENT DESIGN STANDARDS**

APARTMENT NO.	TYPE	MASTER BED MIN. 3.4M X 3.0M	BED 2/3 MIN. 3.0M X 3.0M	LIVING	LIVING AREA	BALCONY WIDTH	BALCONY/POS AREA	ROOM DEPTH	STORAGE			NATURAL VENTILATION	ACCESSIBLE
									INTERNAL	EXTERNAL	TOTAL		
APT 301	3 BED, 2 BATH	YES	YES	3.7M X 4.0M	14.8M <sup>2</sup>	2.4M	7.61M <sup>2</sup>	9.4M	21.4M <sup>3</sup>	6M <sup>3</sup>	27.4M <sup>3</sup>	YES	YES (A)

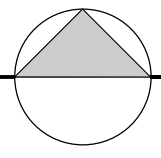
NOTE: ALL HEATING AND COOLING UNITS TO BE LOCATED ON THE ROOF.

01 PROPOSED LEVEL 3 FLOOR PLAN  
TP104 SCALE 1 : 100



545 King Street West Melbourne 3003 t : 93295988 f : 93294707 e : info@pointarc.com.au

REV	DESCRIPTION	DRN	CHK	DATE
A	ISSUE FOR PRE-APP	YK	EG	03.08.2020
B	DRAFT TP SET - 1	YK	EG	21.09.2020
C	DRAFT TO SET - 2	YK	EG	25.09.2020
D	ISSUE FOR TOWN PLANNING	YK	EG	08.10.2020
E	IN RESPONSE TO COUNCIL RFI AND UD COMMENTS	YK	EG	05.02.2021



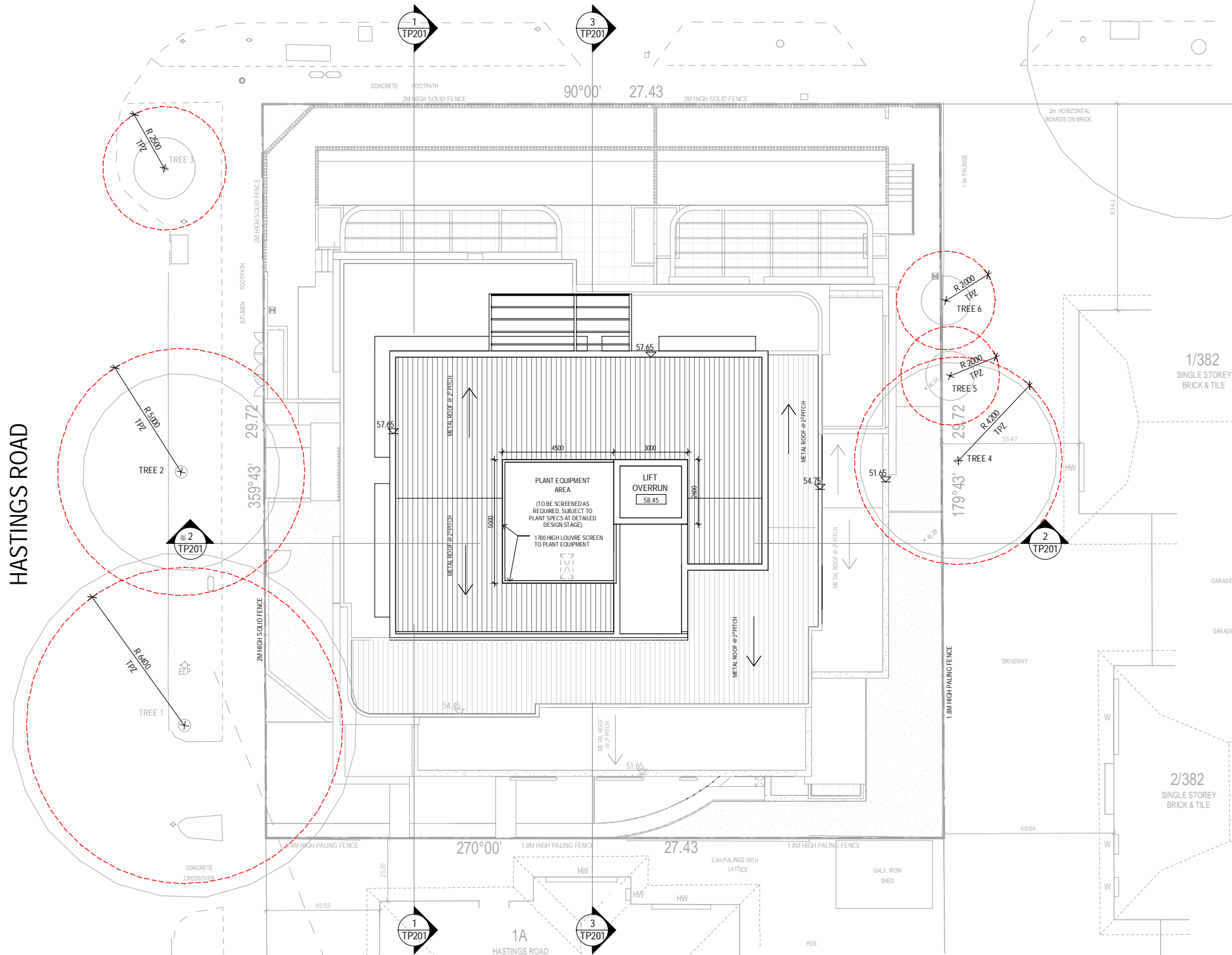
TOWN PLANNING

PROJECT	TITLE	DRAWN	SCALE	PLOT DATE	JOB No.
380 RIVERSDALE ROAD HAWTHORN EAST 3123	PROPOSED LEVEL 3 FLOOR PLAN	YK	1 : 100 @ A1	10.02.2021	1050

DWG No. REVISION  
TP104 E

RIVERSDALE ROAD

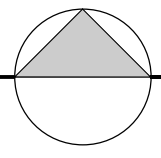
HASTINGS ROAD



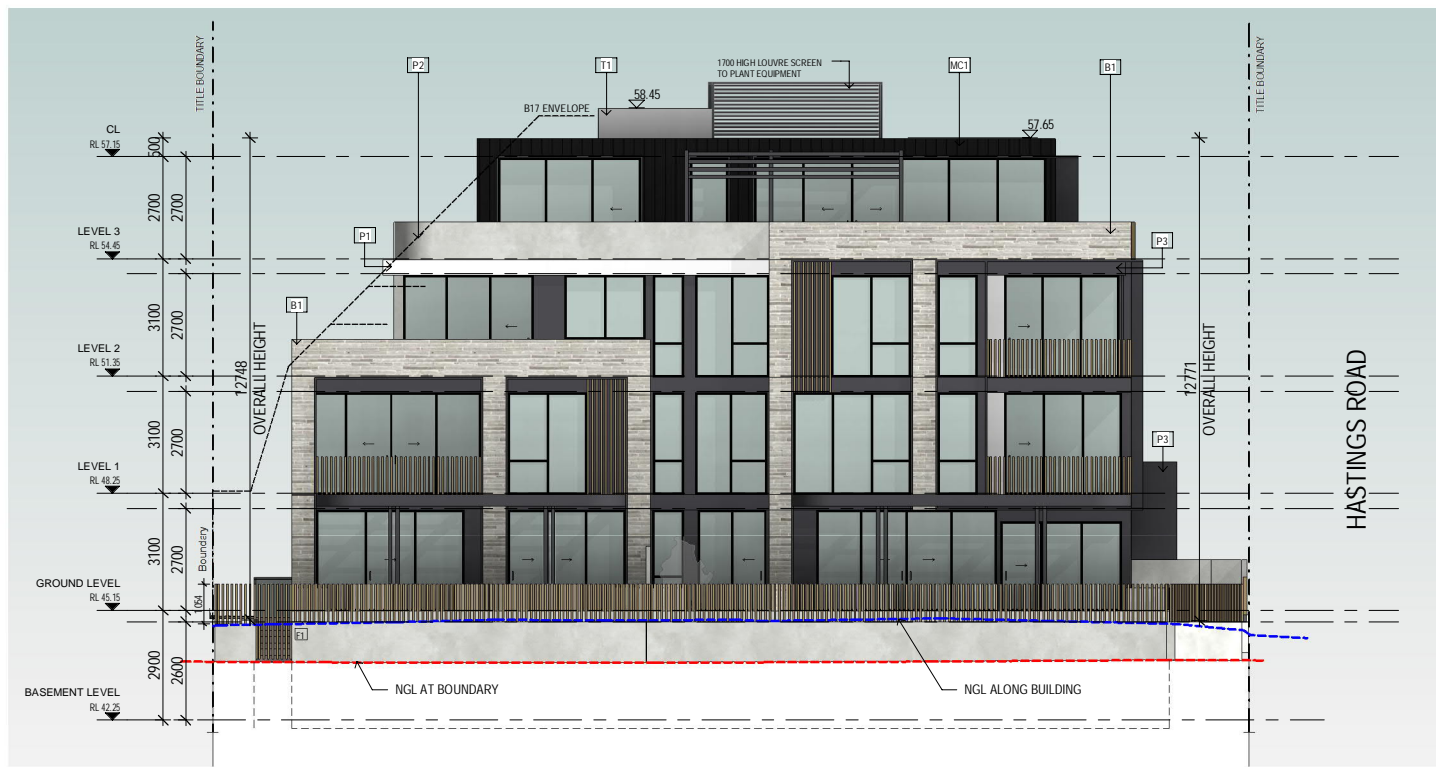
01 PROPOSED ROOF PLAN  
TP105 SCALE 1 : 100

- ESD INITIATIVES:**
- An average building energy rating performance of 7.0 Stars across the development will be maintained as a minimum.
  - Heating and cooling for all spaces within the development will be provided by energy efficient air conditioners (within one energy rating star of the best available, if no star rating applies, achieve an EER/COP at least 10% more efficient than minimum allowed under MEPS for an equivalent sized unit).
  - Daylight penetration through windows/openings will be enhanced with the use of light internal colours, allowing for a better internal reflection of daylight.
  - External windows will generally include an operable component, doorstops will be included to further encourage natural ventilation through the residential development.
  - All kitchens will have a separate dedicated exhaust fan (range hood) which will not be recycled to any enclosed space within the building; it will be ducted directly outside.
  - The dwellings will be fitted with double glazed windows to all living areas and bedrooms. Motion sensors will be installed in communal areas with sporadic use, such as carpark, service etc. All external lighting will have appropriate controls (e.g. light sensors, timers) to minimise consumption during off-peak times (between 1pm to 5am).
  - Basement car park ventilation will be designed to best practice energy efficiency with all exhaust fans being installed with carbon monoxide (CO) sensors to make sure they only operate when necessary.
  - The development will include efficient fittings and fixtures to reduce the volume of mains water used in the development. The following minimum Water Efficiency Labelling Scheme (WELS) star ratings will be specified:
    - Toilets – 4 Star;
    - Taps – 5 Star;
    - Showerheads – 4 Star (>6.0 but ≤7.5L/min).
  - Water efficient appliances will be specified within one WELS star of the best available. This includes both dishwashers and clothes washing machines (if installed by the developer as a part of the contracted building works only).
  - A total catchment area of 406m<sup>2</sup> from the rooftop and terraces will harvest stormwater into a rainwater tank(s) with a minimum effective storage capacity of 15,000L. Collected water will be connected for irrigation and toilet flushing in all apartments.
  - Native and drought tolerant plants will be preferred for any landscaped areas designed on site. Xeriscape principles will also be followed whereby plants with similar water needs will be grouped together and planted in locations that best enable them to thrive. Where plants requiring irrigation are selected, they will be irrigated using a drip or sub-surface irrigation system.

REV	DESCRIPTION	DRN	CHK	DATE
A	ISSUE FOR PRE-APP	YK	EG	03.08.2020
B	DRAFT TP SET - 1	YK	EG	21.09.2020
C	DRAFT TO SET - 2	YK	EG	25.09.2020
D	ISSUE FOR TOWN PLANNING	YK	EG	08.10.2020
E	IN RESPONSE TO COUNCIL RFI AND UD COMMENTS	YK	EG	05.02.2021



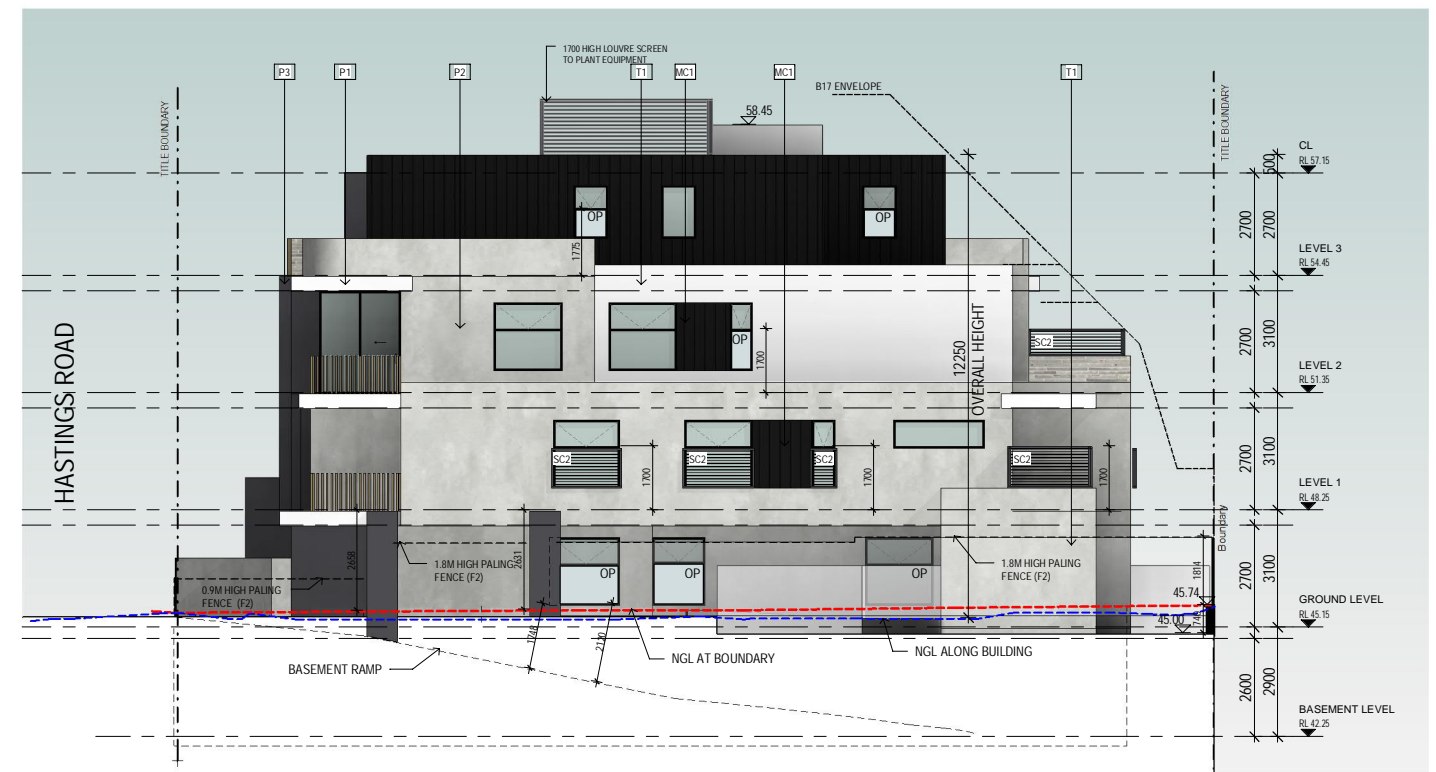




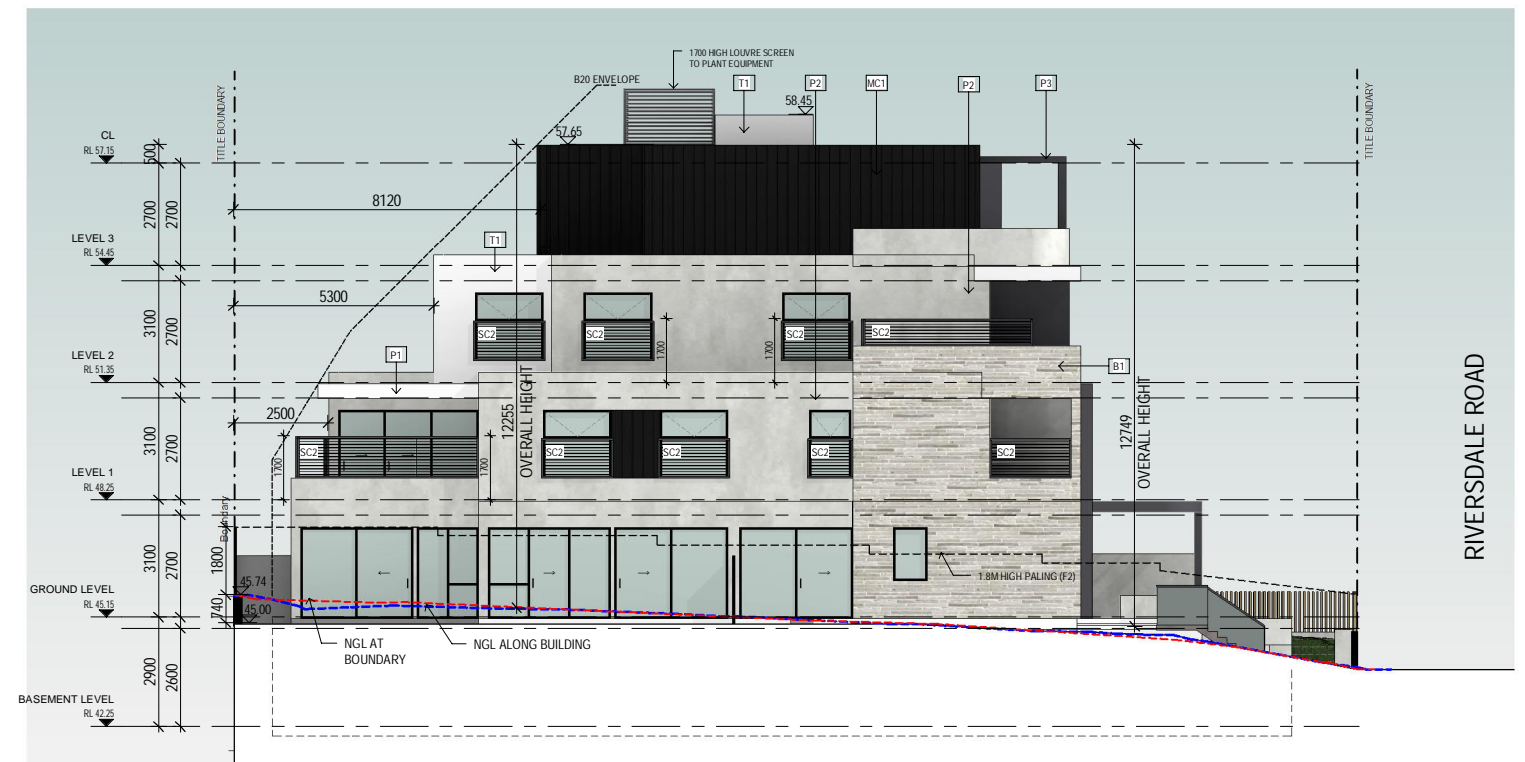
01 NORTH ELEVATION - RIVERSDALE RD  
TP200 SCALE 1 : 100



2 WEST ELEVATION - HASTINGS RD  
TP200 SCALE 1 : 100



3 SOUTH ELEVATION  
TP200 SCALE 1 : 100



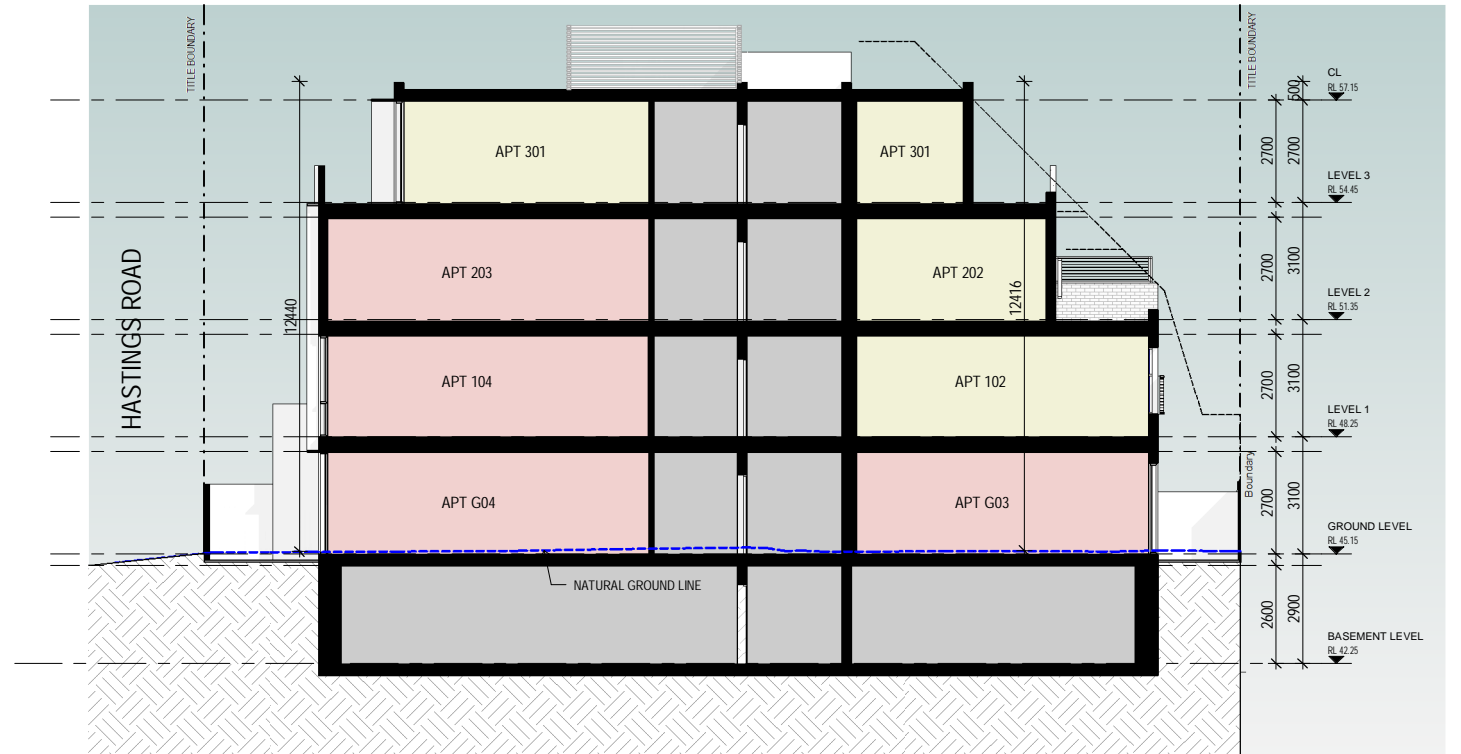
4 EAST ELEVATION  
TP200 SCALE 1 : 100

MATERIAL SCHEDULE			
	P1 PAINT FINISH DULUX 'WHISPER WHITE'		MC1 METAL CLADDING COLORBOND STANDING SEAM CLADDING COLOUR 'MONUMENT'
	P2 PRE FINISHED PANEL / RENDER FINISH CONCRETE LOOK		SC1 METAL SCREEN 50X100MM POWDER COATED ALUMINIUM POSTS
	P3 PAINT FINISH DULUX 'MONUMENT'		SC2 METAL SCREEN 1700MM HIGH PRIVACY SCREEN POWDER COATED HORIZONTAL ALUMINIUM LOUVERS
	B1 BRICK FACE LIGHT GREY		OP OPAQUE GLASS 1700MM FROM FFL
	F1 SOLID FENCE CONCRETE LOOK		GD GARAGE DOOR BLACK PERFORATED METAL DOOR
	F2 PALING FENCE		W1 ALUMINIUM WINDOW FRAME 'BLACK'

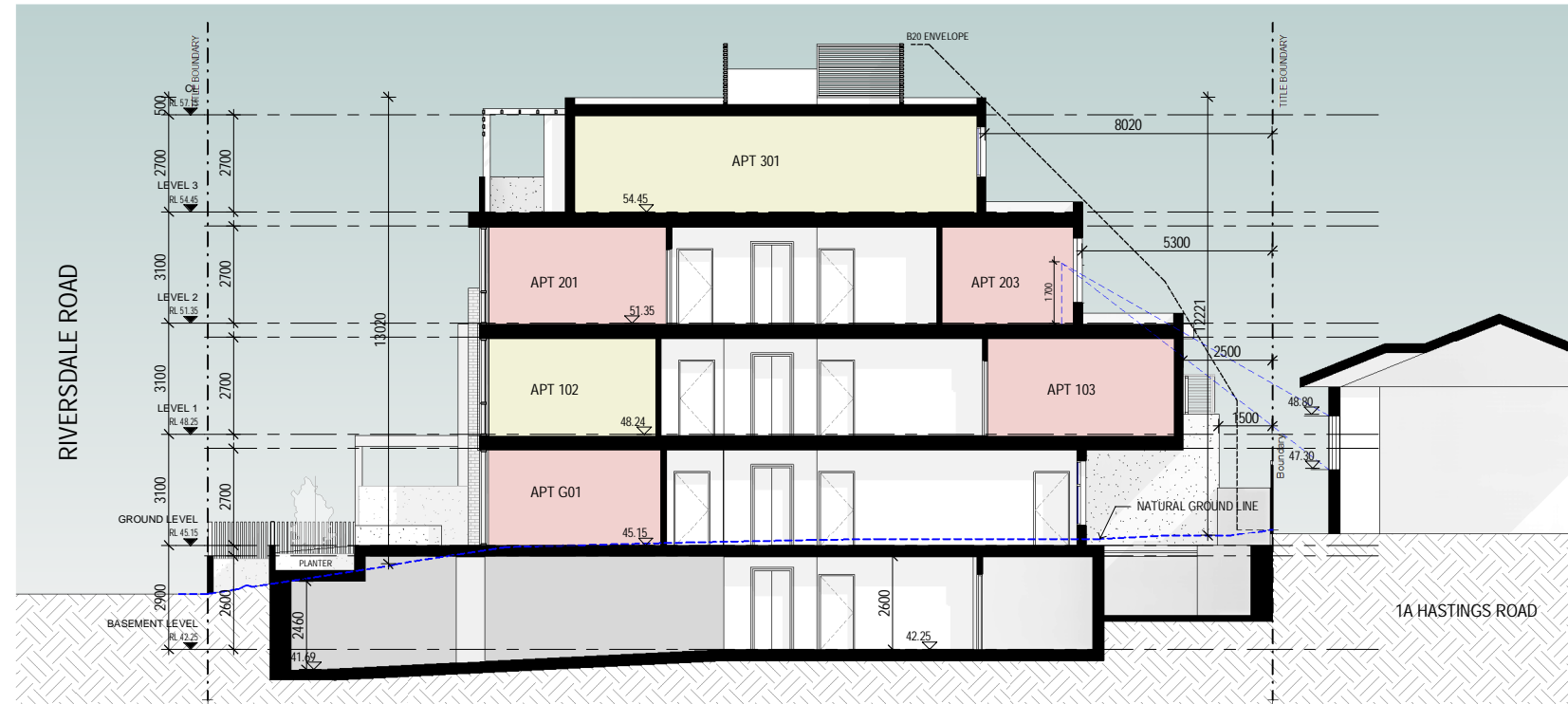
REV	DESCRIPTION	DRN	CHK	DATE
A	ISSUE FOR PRE-APP	YK	EG	03.08.2020
B	DRAFT TP SET - 1	YK	EG	21.09.2020
C	DRAFT TO SET - 2	YK	EG	25.09.2020
D	ISSUE FOR TOWN PLANNING	YK	EG	08.10.2020
E	IN RESPONSE TO COUNCIL RFI AND UD COMMENTS	YK	EG	05.02.2021



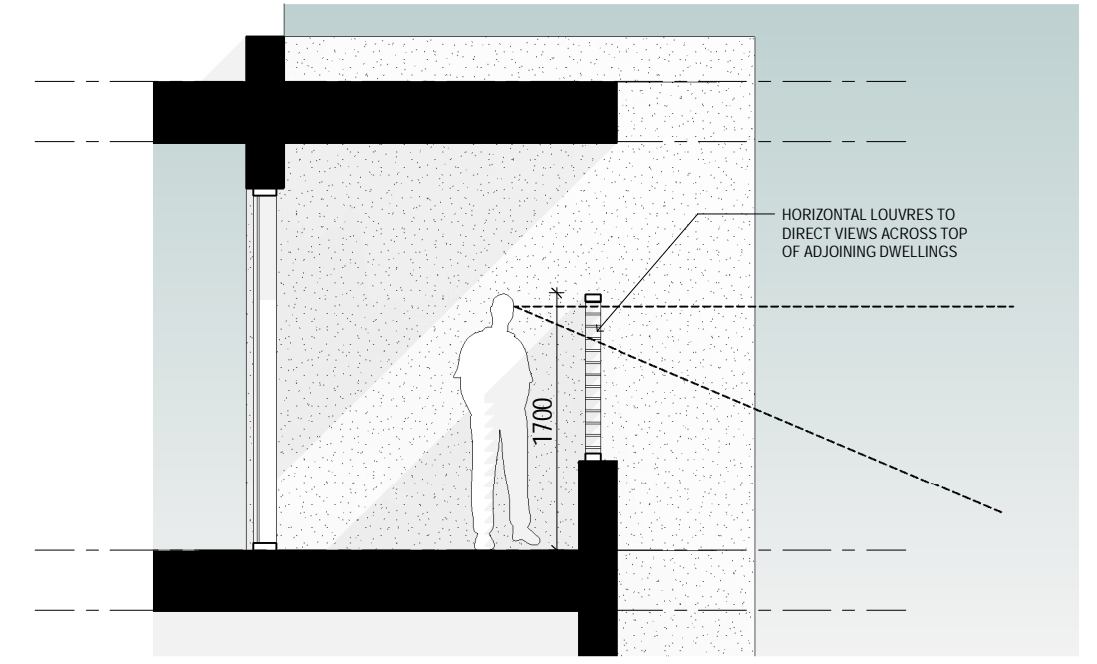
1 SECTION X-X  
TP201 SCALE 1 : 100



2 SECTION Y-Y  
TP201 SCALE 1 : 100



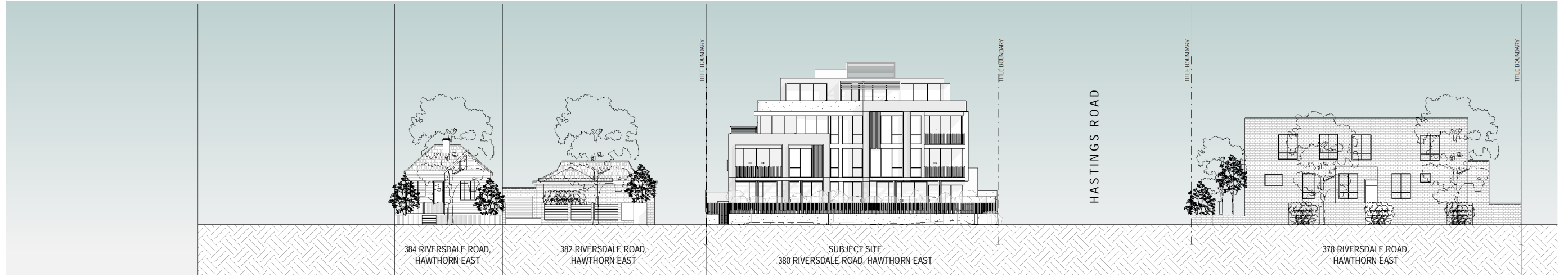
3 SECTION Z-Z  
TP201 SCALE 1 : 100



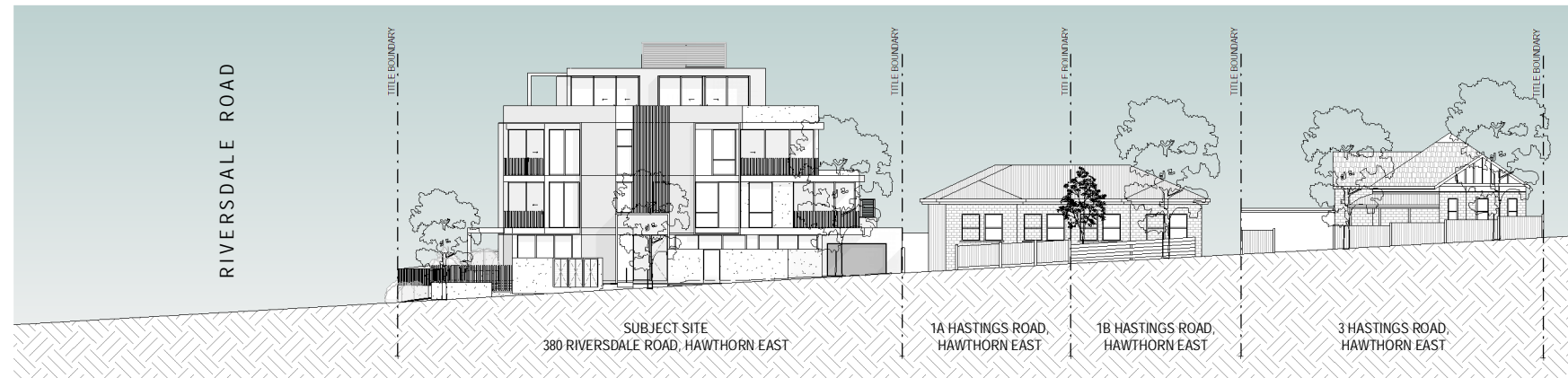
4 SCREENING DETAIL  
TP201 SCALE 1 : 25

REV	DESCRIPTION	DRN	CHK	DATE
A	DRAFT TP SET - 1	YK	EG	21.09.2020
B	DRAFT TO SET - 2	YK	EG	25.09.2020
C	ISSUE FOR TOWN PLANNING	YK	EG	08.10.2020
D	IN RESPONSE TO COUNCIL RFI AND UD COMMENTS	YK	EG	05.02.2021



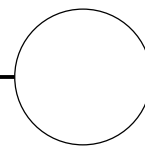


**1 RIVERSDALE RD STREETSCAPE**  
 TP202 SCALE 1 : 200



**2 HASTINGS RD STREETSCAPE**  
 TP202 SCALE 1 : 200

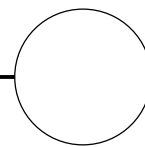
REV	DESCRIPTION	DRN	CHK	DATE
A	ISSUE FOR PRE-APP	YK	EG	03.08.2020
B	DRAFT TP SET - 1	YK	EG	21.09.2020
C	DRAFT TO SET - 2	YK	EG	25.09.2020
D	ISSUE FOR TOWN PLANNING	YK	EG	08.10.2020
E	IN RESPONSE TO COUNCIL RFI AND UD COMMENTS	YK	EG	05.02.2021







REV	DESCRIPTION	DRN	CHK	DATE
A	DRAFT TP SET - 1	YK	EG	21.09.2020
B	DRAFT TO SET - 2	YK	EG	25.09.2020
C	ISSUE FOR TOWN PLANNING	YK	EG	08.10.2020
D	IN RESPONSE TO COUNCIL RFI AND UD COMMENTS	YK	EG	05.02.2021



TOWN PLANNING

PROJECT

380 RIVERSDALE ROAD  
HAWTHORN EAST 3123

TITLE

3D RENDER-1

DRAWN

YK

SCALE

@ A1

PLOT DATE

10.02.2021

JOB No.

1050

DWG No.

TP300

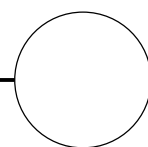
REVISION

D





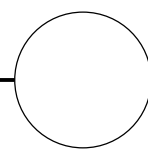
REV	DESCRIPTION	DRN	CHK	DATE
A	DRAFT TP SET - 1	YK	EG	21.09.2020
B	DRAFT TO SET - 2	YK	EG	25.09.2020
C	ISSUE FOR TOWN PLANNING	YK	EG	08.10.2020
D	IN RESPONSE TO COUNCIL RFI AND UD COMMENTS	YK	EG	05.02.2021







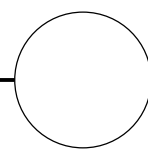
REV	DESCRIPTION	DRN	CHK	DATE
A	DRAFT TP SET- 1	YK	EG	21.09.2020
B	DRAFT TO SET- 2	YK	EG	25.09.2020
C	ISSUE FOR TOWN PLANNING	YK	EG	08.10.2020
D	IN RESPONSE TO COUNCIL RFI AND UD COMMENTS	YK	EG	05.02.2021



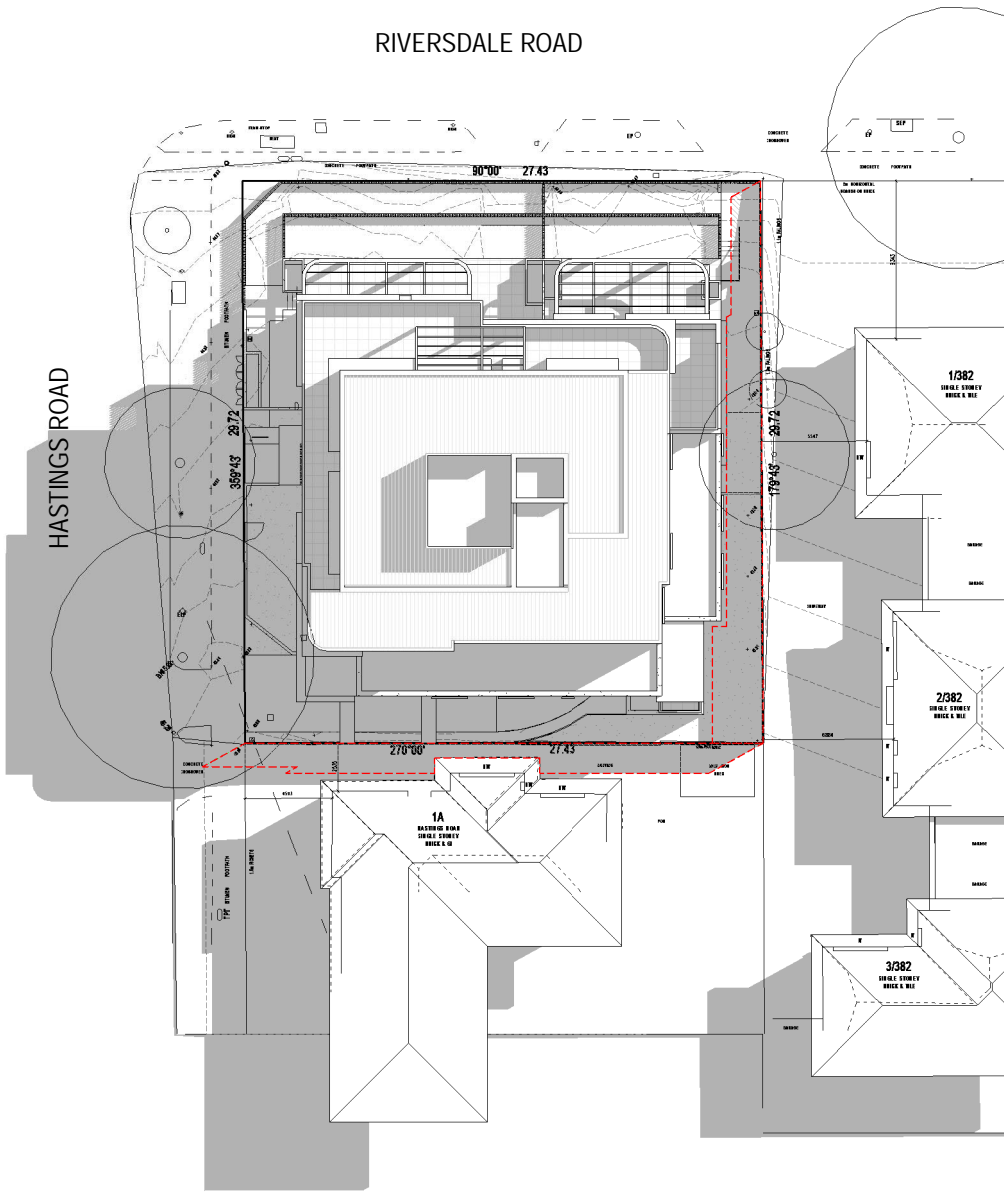




REV	DESCRIPTION	DRN	CHK	DATE
A	DRAFT TP SET - 1	YK	EG	21.09.2020
B	DRAFT TO SET - 2	YK	EG	25.09.2020
C	ISSUE FOR TOWN PLANNING	YK	EG	08.10.2020
D	IN RESPONSE TO COUNCIL RFI AND UD COMMENTS	YK	EG	05.02.2021

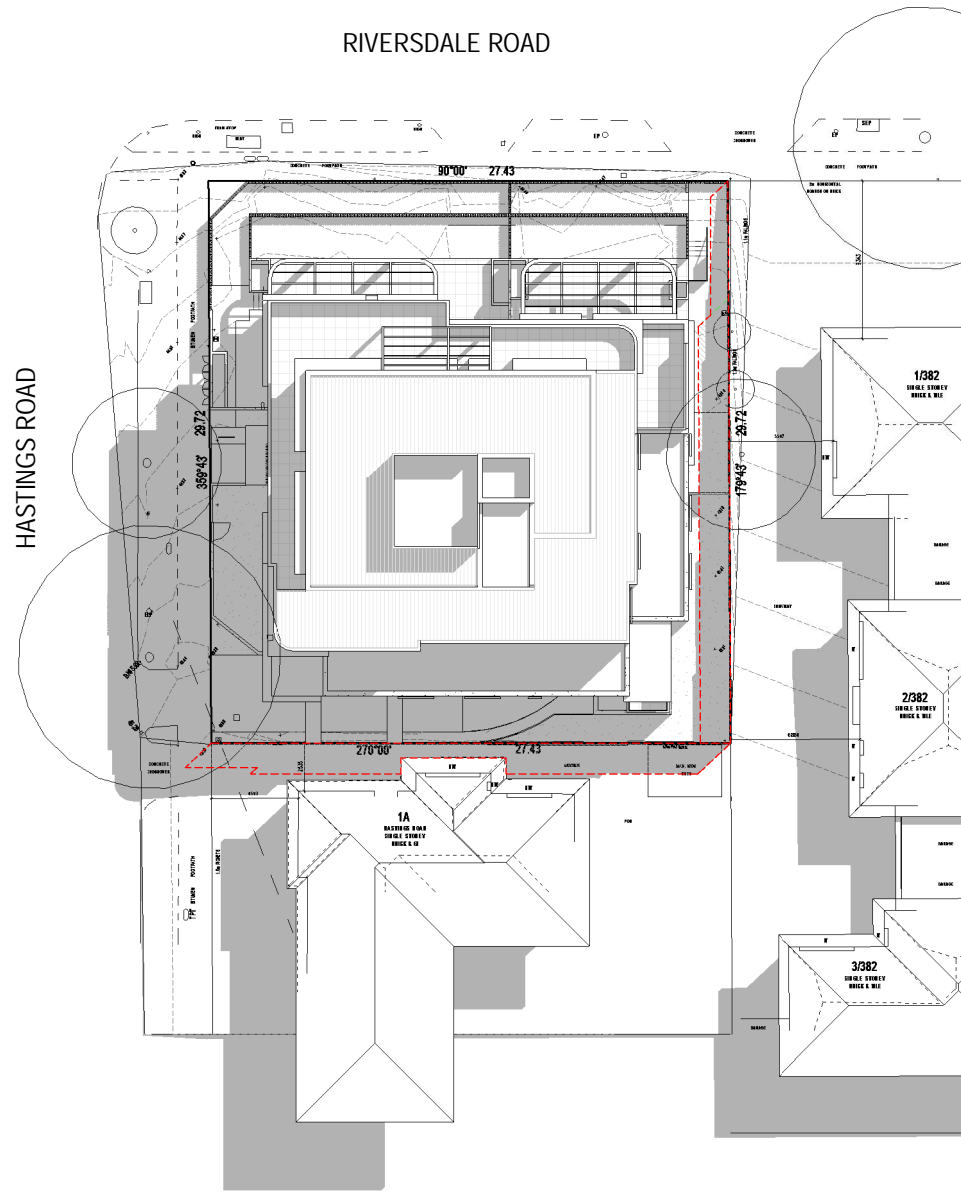


RIVERSDALE ROAD



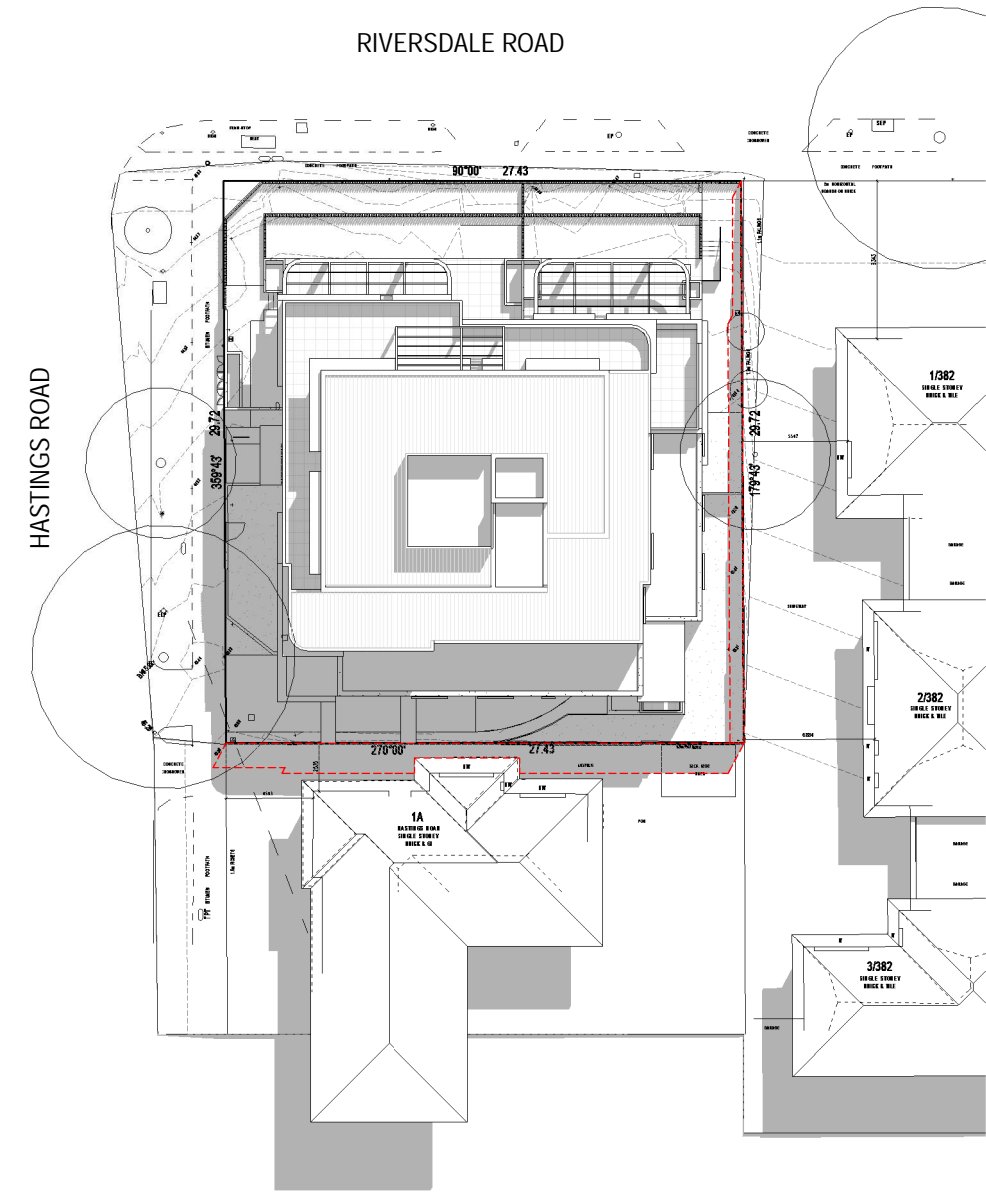
1 SHADOWS - 22 SEPTEMBER - 9AM  
TP400 SCALE 1 : 200

RIVERSDALE ROAD



2 SHADOWS - 22 SEPTEMBER - 10AM  
TP400 SCALE 1 : 200

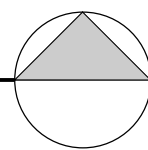
RIVERSDALE ROAD



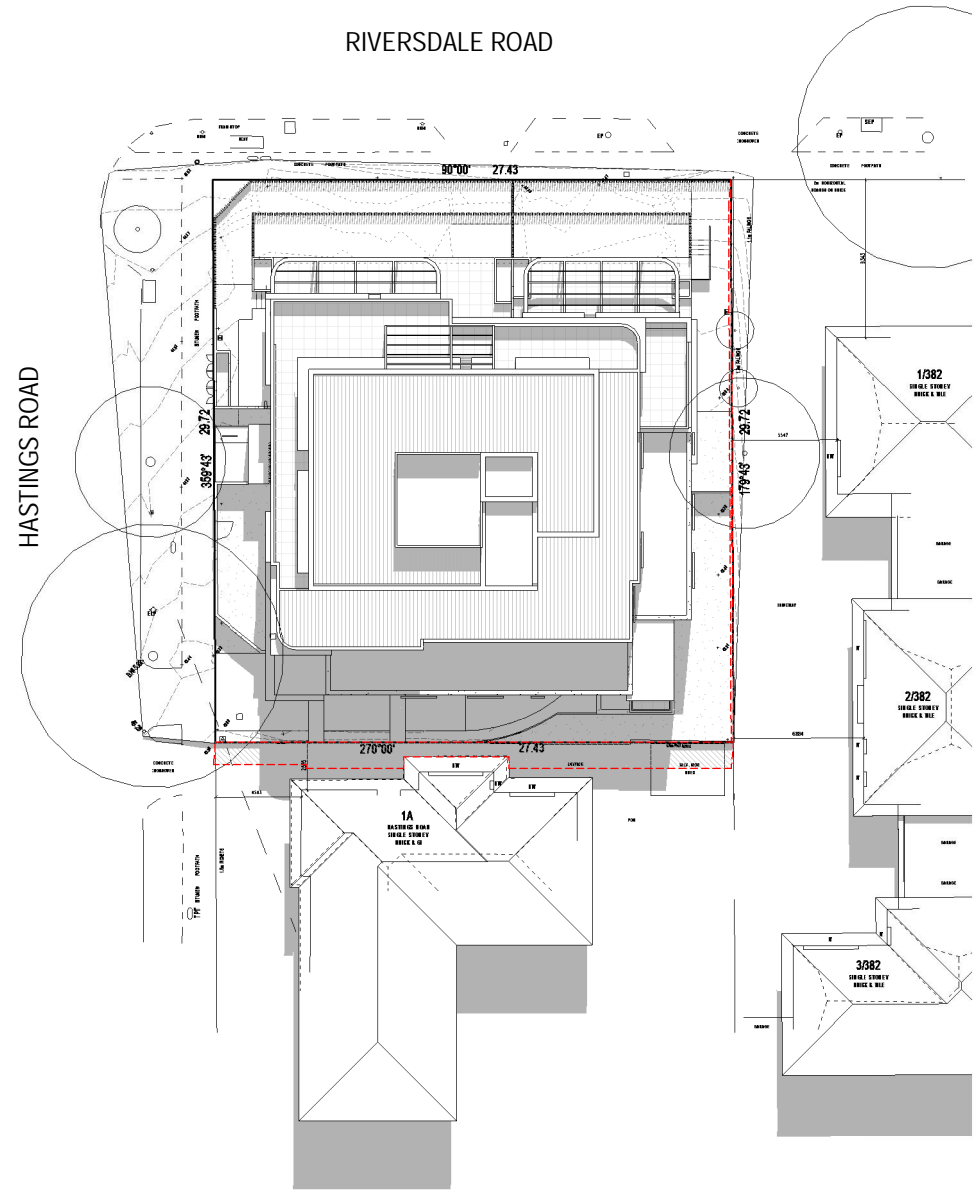
3 SHADOWS - 22 SEPTEMBER - 11AM  
TP400 SCALE 1 : 200

LEGEND	
	EXISTING FENCE SHADOW

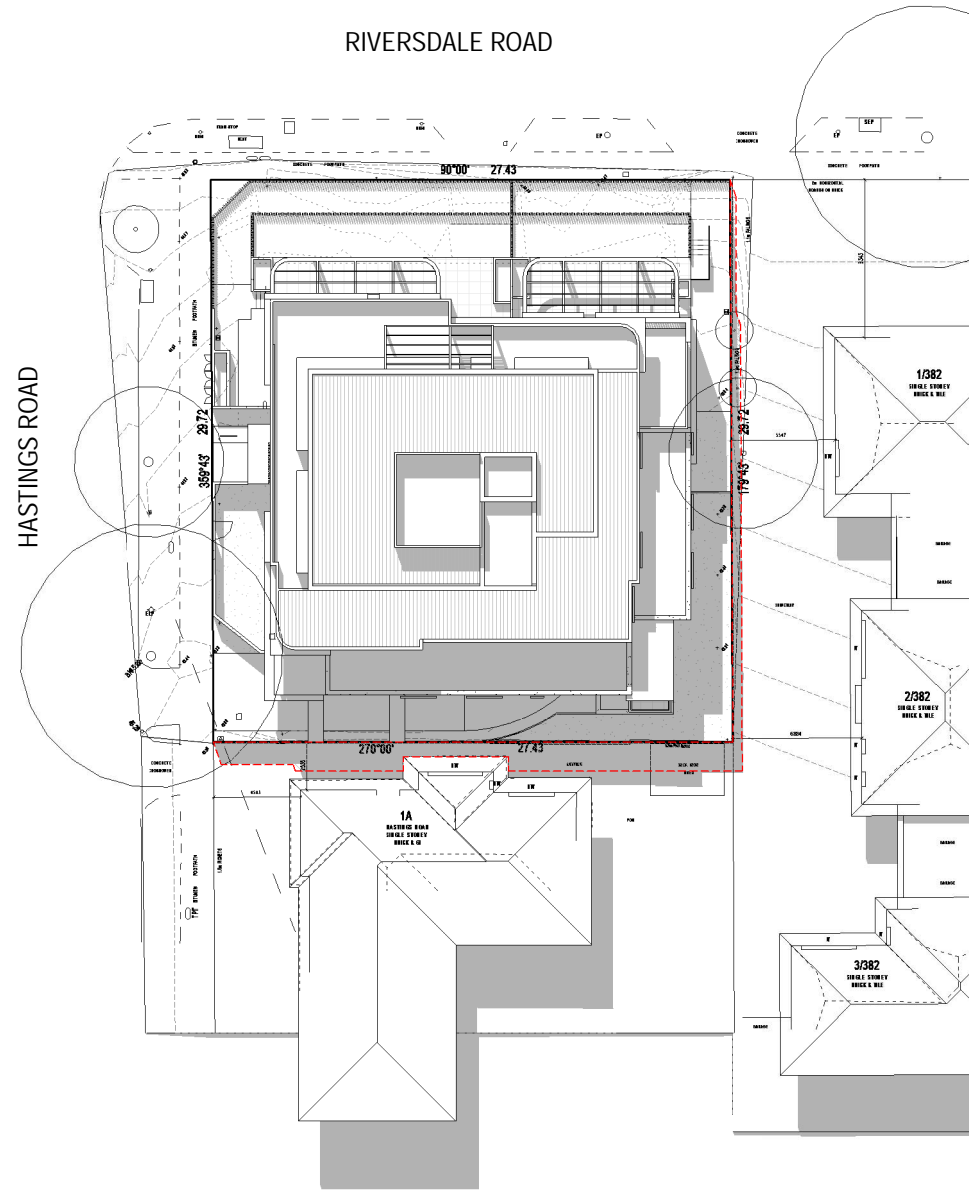
REV	DESCRIPTION	DRN	CHK	DATE
A	ISSUE FOR PRE- APP	YK	EG	03.08.2020
B	DRAFT TP SET - 1	YK	EG	21.09.2020
C	DRAFT TO SET - 2	YK	EG	25.09.2020
D	ISSUE FOR TOWN PLANNING	YK	EG	08.10.2020
E	IN RESPONSE TO COUNCIL RFI AND UD COMMENTS	YK	EG	05.02.2021





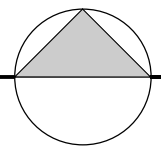


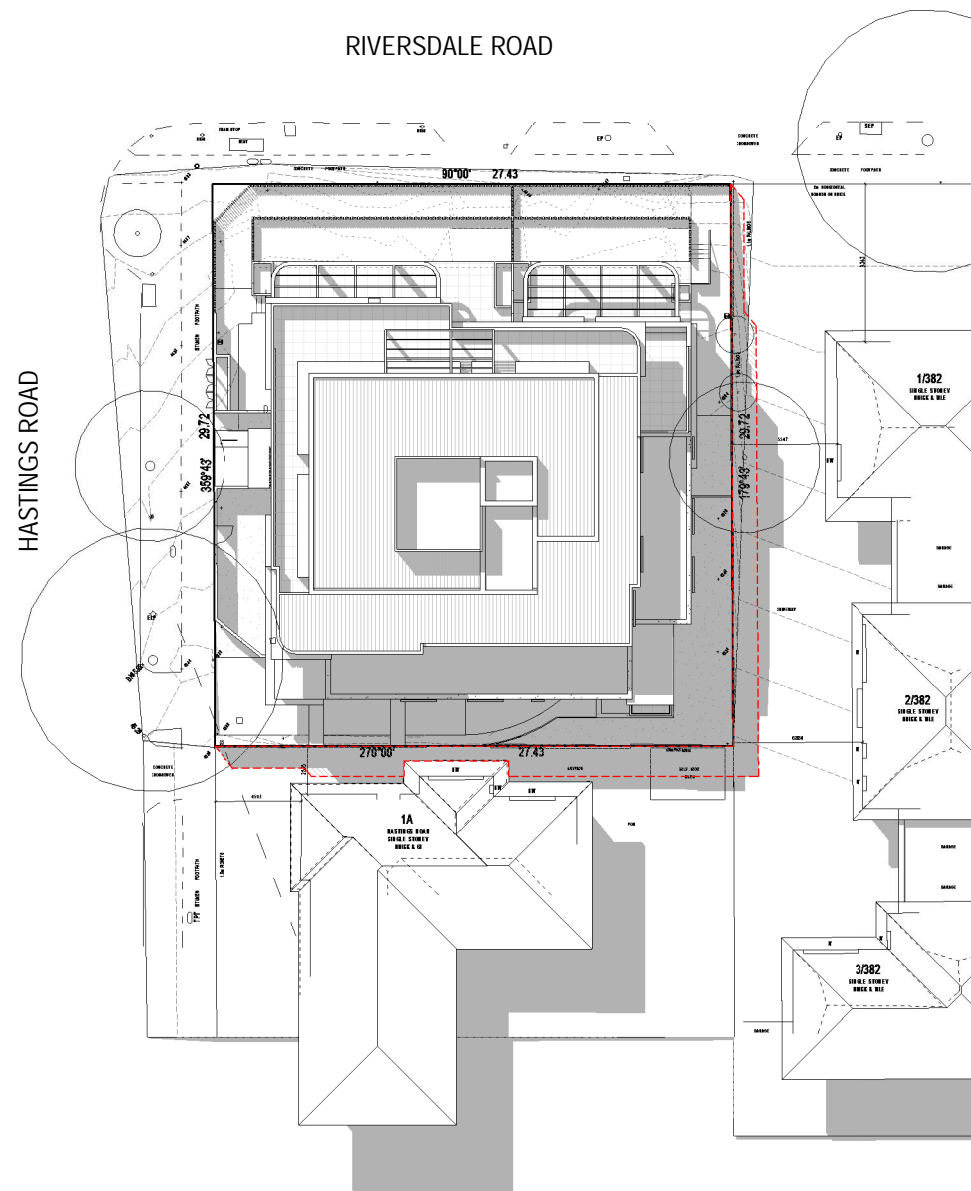
1 SHADOWS - 22 SEPTEMBER - 12NOON  
TP401 SCALE 1 : 200



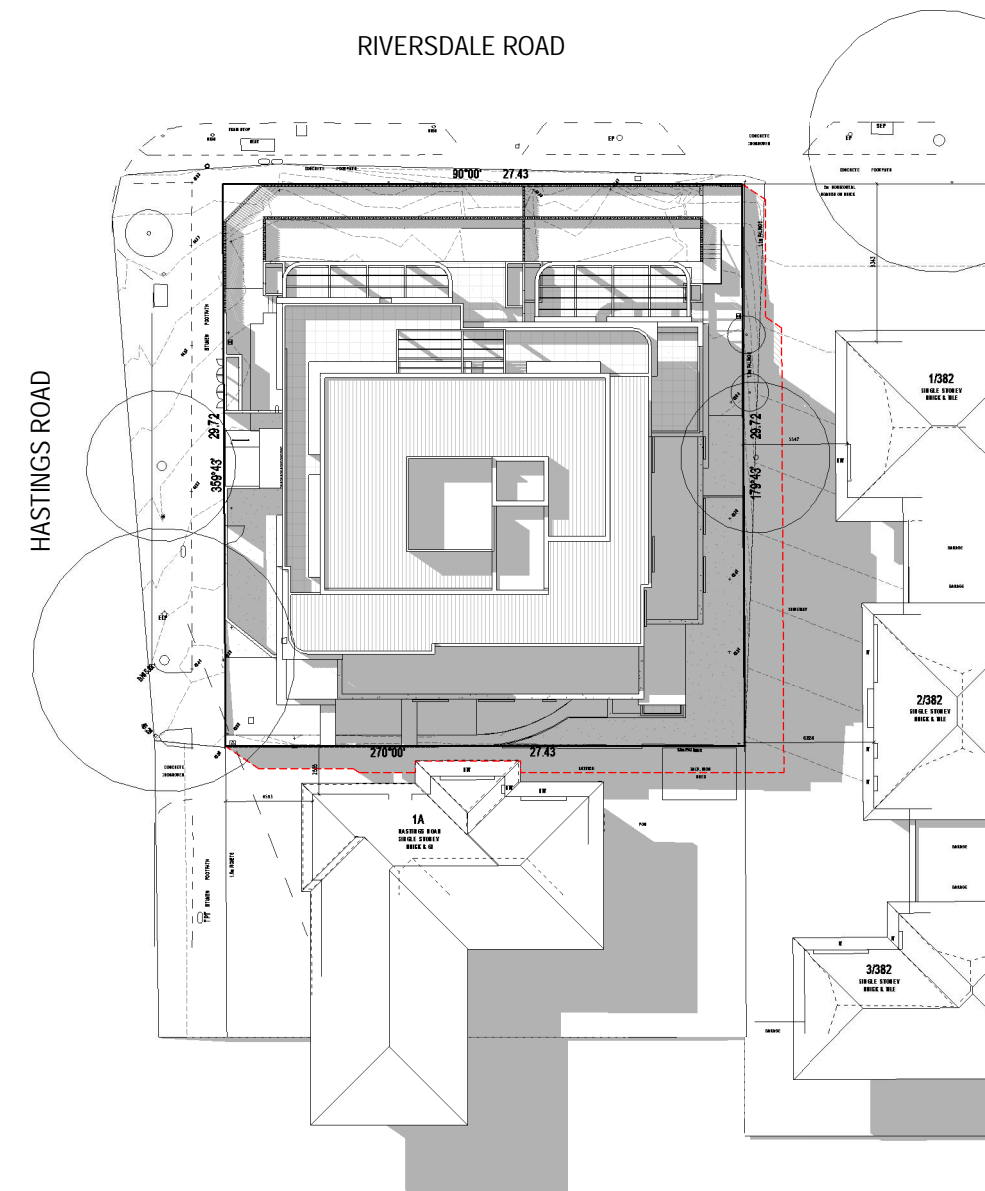
2 SHADOWS - 22 SEPTEMBER - 1PM  
TP401 SCALE 1 : 200

LEGEND  
EXISTING FENCE SHADOW






1 SHADOWS - 22 SEPTEMBER - 2PM  
TP402/ SCALE 1 : 200

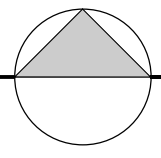


2 SHADOWS - 22 SEPTEMBER - 3PM  
TP402/ SCALE 1 : 200

**LEGEND**

 EXISTING FENCE SHADOW

REV	DESCRIPTION	DRN	CHK	DATE
A	IN RESPONSE TO COUNCIL RFI AND UD COMMENTS	YK	EG	05.02.2021



PROJECT	TITLE	DRAWN	SCALE	PLOT DATE	JOB No.
380 RIVERSDALE ROAD HAWTHORN EAST 3123	SHADOW DIAGRAM 2PM, 3PM.	AP	As indicated @ A1	10.02.2021	1050
				DWG No.	REVISION
				TP402	A